

**PLANNING COMMISSION  
AGENDA REPORT**



**CITY OF MILLBRAE  
621 Magnolia Avenue  
Millbrae, CA 94030**

**SUBJECT:** DESIGN REVIEW PERMIT to allow the demolition of an existing single-story residence and construction of a three-story single-family residence located in the Duplex Residential (R-2) Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street (APN #021-302-220) (Public Hearing).

**ATTACHMENTS:**

1. Resolution No. with Exhibit A. Conditions of Approval
2. Project Description
3. Exception Request
4. Neighbor Consultation Forms
5. Site Photos
6. Project Plans
7. Color & Material Board (to be distributed at meeting)

**Report No.**

**For Agenda of:** January 4, 2023

**Address:** 73 Spruce Street

**Department:** Community Development

**Originator:** Kaneca Pompey, Contract Planner

**Approved:** Roscoe Mata, Planning Manager

**Property Owner:** Yin Kwan Tam

**Applicant:** Fiona Lee

**Application submittal date:**  
March 18, 2019

**Application deemed complete date:** December 23, 2022

**Prior Planning Commission meeting date(s):** none

**REPORT TYPE:**  ACTION  INFORMATIONAL

**ITEM TYPE:**  CONSENT  PUBLIC HEARING  EXISTING BUSINESS  NEW BUSINESS

**EXECUTIVE SUMMARY**

The proposed project involves the demolition of an existing 1,001 square feet (sf), three-bedroom, two-bathroom, single-story residence, and the construction of a 2,200 sf, four-bedroom, four-bathroom, three-story, single-family residence. The proposal is subject to Planning Commission design review since it is a full demolition and new construction of a single-family residence.

The existing property is a single-story residence located on non-conforming area of 2,500 sf interior lot (5,000 sf minimum lot size required) and 25-foot-wide lot (Minimum 50 feet lot width required). The 2,500-sf lot is located in the Medium Density Residential (R-2) zone. The proposed single-family residence project meets all the required development standards for the R-2 zone. The existing single-family residence is located on the south side of Spruce Street between Monterey and Bay Streets.

Since this application was submitted, staff has worked diligently with the owner and two different architects on this project to improve the architectural design and materials for the proposed new

residence. There were several design revisions and an architect change by the owner. Staff worked with the new architect to bring the project into conformance with General Plan design goals and objectives and to better conform to the R-2 development standards and reduce the mass and scale of the structure.

The existing 1,001 square feet open gabled roof home contains three bedrooms, two bathrooms, a kitchen, storage space, laundry space, and a front door entry. There is no parking garage. The existing roof pitch is 1:12 with a flat roof at the back of the house. The proposed project would demolish the single-family residence and construct a new single-family residence.

The proposed project would consist of a new four-bedroom, four-bathroom, three-story home with attached two-car garage. The proposed first floor includes a two-car tandem garage, front storage room, laundry room, rear first bedroom with closet, hallway connecting to a full bathroom and stairway to second floor. The second floor includes the front entrance steps to front door, entry room, and living room with open kitchen, hallway, and stairway to the first and third floors, a bathroom, and a rear second bedroom with a walk-in closet. The third floor consists of a front, main third bedroom with en suite bathroom and closet, a common area and hallway connecting to rear, main fourth bedroom with walk-in closed and en suite bathroom. The exterior colors and material would be a contemporary, stucco and wood clad exterior, three-story home with a combination open gable, hip roof type and two skylights. The architectural design and exterior materials are compatible with the design style of several two-story homes in the neighborhood. The backyard will have a garden patio area and planters with built in seating.

The proposed home would increase the total square footage to 2,200 sf. The FAR would increase from 40% to 88% (88% is the allowable maximum). The lot coverage would decrease from 40% to 39% (50% is the allowable maximum).

## **RECOMMENDATION**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the DESIGN REVIEW PERMIT to allow the demolition of an existing single-story residence and construction of a three-story single-family residence located in the Duplex Residential (R-2) Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached conditions of approval.

## **NEIGHBORHOOD AND SURROUNDING USES**

The project site is in the Marina Vista Park subdivision, located on the south side of Spruce Street between Monterey Street and Bay Street. The site is a 2,500-sf lot, zoned Duplex Residential (R-2) identified in the General Plan as Medium Density Residential. The lot is currently occupied by a single-story, single-family residence.

<b>Project Address: 73 Spruce Street</b>					
	<b>Site</b>	<b>North</b>	<b>South</b>	<b>East</b>	<b>West</b>
<b>General Plan</b>	Medium Density Residential				
<b>Zoning</b>	R-2	R-2	R-2	R-2	R-2

## **PROPOSAL**

The proposed project will demolish the existing single-story, single-family residence and construct a new three-story, single-family residence. The proposed first floor includes a two-car tandem garage, front storage room, laundry room, rear first bedroom with closet, hallway connecting to a full bathroom and stairway to second floor. The second floor includes the front entrance steps to front door, entry room, and living room with open kitchen, hallway, and stairway to first and third floor, bathroom, and a rear second bedroom with a walk-in closet. The third floor consists of a front, main third bedroom with en suite bathroom and closet, a common area and hallway connecting to rear, main fourth bedroom with walk-in closed and en suite bathroom. The backyard will have a garden patio area and planters with built in seating.

Building height would increase from 14'-5" to 30'. The roof pitch is a combination 3:12, 5:12, 6:12, 10:12 sloped roofs with a combination open gable and hip roof type. All ground floor and upper story setback requirements are met. The proposed two-car garage satisfies the required covered parking for a single-family dwelling and the project complies with all other R-2 zoning development standards.

The existing home measures 1,001 square feet (sf) in area with no parking garage. The proposed home would increase the total square footage to 2,200 sf and include a two-car garage. The FAR would increase from 40% to 88% (88% is the allowable maximum). The lot coverage would decrease from 40% to 39% (50% is the allowable maximum).

## **ANALYSIS**

The proposed new construction complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in **bold italics**):

<b>Interior Lot (Duplex-R2)</b>	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
<b>Building Setbacks (All Floors)</b>			
1 <sup>st</sup> Floor Front Setback NORTH	20 Ft.	<i>10 Ft.</i>	20 Ft.
1 <sup>st</sup> Floor Side Setback EAST	3 Ft.	3 Ft.	3 Ft.
1 <sup>st</sup> Floor Side Setback WEST	3 Ft.	3 Ft.	3 Ft.
1 <sup>st</sup> Floor Rear Setback SOUTH	10 Ft.	24'-7"	33 Ft.
2 <sup>nd</sup> Floor Front Setback NORTH	20 Ft.	N/A	20 Ft.
2 <sup>nd</sup> Floor Side Setback EAST	3 Ft	N/A	3 Ft.
2 <sup>nd</sup> Floor Side Setback WEST	3 Ft.	N/A	3 Ft.
3 <sup>rd</sup> Floor Front Setback NORTH	20 Ft.	N/A	11 Ft. -11 In.
3 <sup>rd</sup> Floor Side Setback EAST	3Ft.	N/A	3 Ft.

3 <sup>rd</sup> Floor Side Setback WEST	3 Ft.	N/A	3 Ft.
	Gross Area	Existing	Proposed
Site Area	5,000 SF	2,500 SF	No Change
Maximum Lot Coverage	50% (2,500 SF)	40% (1,001 SF)	39% (976 SF)
Maximum Floor Area Ratio	88% (4,400 SF)	40% (1,001 SF)	88% (2,200 SF)
Maximum Building Height	30 Ft.	14 Ft. 5 In.	30 Ft.
Minimum Rear Yard Open Space	1,000 SF	604 SF	1,058 SF
Enclosed Parking	2 car garage	<i>No parking garage</i>	2 car garage

### Design Review

Section 10.05.2500 (Design Review Permits) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for new single-family homes. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties. The project requires design review because the applicant proposes to demolish the existing single-story single-family residence and build a new three-story single-family residence on the lot with a setback exception to allow the roof eaves to encroach into the side setbacks by one foot.

The existing home is a single-story home similar to other single-family buildings in the neighborhood. The front exterior is a pink colored stucco, with brown roof trim, white painted wood door, and vinyl front window with white trim. The roof is an open gabled roof type with roof pitch of 1:12 front and flat rear roof.

The proposed exterior finishes will be dark grey stucco finish (first floor) and exterior walnut siding finish (second and third floors), fiberglass garage door, front wood door with glass windows, 30" height planter box at entry stairs, two front outdoor scone style lights, vinyl fixed windows with black beam window frame finish (second floor), vinyl triple casement windows with black beam window frame finish (third floor). The roof will be dark grey shingle with proposed roof pitch ratio combination of 5:12 and 3:12 for the first floor and pitch ratio combination of 6:12 and 10:12 slope for the third floor.

### Setback Exception

Pursuant to Section 10.05.2530 subsections (C) and (D) (Exceptions) of the Millbrae Municipal Code, the applicant is requesting a setback exception to allow the encroachment of an architectural feature (roof eaves) one foot within the required three feet interior side setback on both sides of the proposed building. The setback within the interior lot lines would be two feet (where three feet is required) on the west and east elevations (MMC Section 10.05.0720, 7.a.). The exception is requested for the following reasons. The narrow non-conforming lot (25 feet, where 50 feet is required) makes it challenging to build a residential building on the narrow lot without the roof eaves encroaching within the three-feet interior setback. Changes to the building width would cause a very narrow interior layout for the livable space, rendering some spaces as unusable. The proposed eaves are designed to be compatible with the neighborhood and the roof eaves provide the attic ventilation required and help control and divert storm water runoff. The exterior walls of the building would still comply with the required three-foot setback from the property line. The proposed deviation granted will not be detrimental to property and improvements existing upon

any abutting parcel and would be compatible with the property and improvements existing or proposed upon the project site.

#### Neighborhood Character

The project is located in the Marina Vista neighborhood. Most homes in this neighborhood were built between the 1940-1960s. The majority of homes in the area are a mix of two-three bedroom, one and two-story single-family, duplex homes and apartments with attached garages. The homes are a mixture of open gable, flat, and cross hipped roof designs. The Marina Vista subdivision is zoned single-family residential (R1) north of San Jose Avenue and zoned duplex (R2) south of San Jose Avenue. The existing residence is situated on a Spruce Street between Monterey Street and Bay Street. Marina Vista Park is located just east of the Spruce and Bay Street intersection. The lot is flat and there are no views of the San Francisco Bay from the existing property. The subject building was built in 1945.

#### Parking

The existing single-family residence does not contain a parking garage. The proposed plan provides an attached tandem 631 square foot garage. Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single-family-dwelling. The proposed enclosed parking of 631 square feet provided on the site exceeds the 400 square feet required by the Zoning Ordinance and conforms to the recommended parking guidelines of two-enclosed spaces.

#### Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, ten days prior to the hearing, staff posts notices in at least three public places along the street and stakes a notice placard on the subject property. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; and on the bulletin boards at City Hall and the Millbrae Public Library.

#### Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of four Proof of Neighbor Consultation forms from the adjacent residences have been submitted as follows:

Response	#	Address	Date Applicant Sent	Date Received by Staff
Support	3	337 Cedar Street (certified mail receipt, staff letter) 85 Spruce (certified mail receipt, staff letter) 70 Spruce Street (Certified Mail receipts, staff letter and phone call)	7/1/20 7/15/21 7/12/21	7/20/21 8/9/21 7/16/21
Oppose	1	339 Cedar street (certified mail receipt, staff letter)		

Unreturned	6	65 and 69 Spruce Street (certified mail, staff letter 80 Spruce Street (Certified mail receipt, 66 Spruce Street (Certified mail receipt 67 Spruce Street (Certified mail receipt 80 Spruce Street (Certified mail receipt) 62 Spruce Street (Certified mail receipt)	5/28/21 5/28/21 5/28/21 5/28/21 5/28/21 5/28/21	6/23/21 6/23/21 6/23/21 6/23/21 6/23/21 6/23/21
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The applicant sent out ten neighbor consultation forms and three responded in support of the project and one opposed. There were six consultation forms sent out certified mail with no responses received. The neighbor at 339 Cedar Street is located on a lot to the rear, southwest of the subject site. He expressed the following concerns that a three-story building did not conform with surrounding structures which are two stories, inadequate parking, too many investors and owners in neighborhood do not take care of property and concern for safety of pedestrian and children crossing to Lomita Park at the Spruce and Bay Street intersection.

Staff evaluated the concerns expressed by the owner of 339 Cedar Street based on site visits and project research. Regarding the height of the building, because the lot is a narrow, non-conforming lot, in order to build a single-family residence, the applicant needed to build three levels to provide ample habitable space for the residence while complying with the two-car garage requirement and backyard open space requirement. The proposed single-family residence meets the height requirement for the zone which is 30 feet and the third story is setback from the front of Spruce Street, so that the massing will not be significantly different from the adjacent two-story residences. The proposed single-family residence provides two-car garage parking and will not impact on-street neighborhood parking. Residents are required to maintain their property according to Municipal Code. Additionally, Code Enforcement regularly investigates property maintenance complaints and enforces residential maintenance requirements. The City takes the safety of pedestrian and children street crossings seriously, and when the Public Works department is contacted, they actively investigate, and address safety issues reported by residents.

## **REQUIRED FINDINGS**

The existing General Plan and the City of Millbrae Planning and Zoning Ordinance provide goals and guidance related to design. The proposed project was evaluated for consistency with the General Plan, Design Review Permit and Exception Findings and was determined to be consistent (Attachment 1, Resolution with Exhibit A, Conditions of Approval).

## **ENVIRONMENTAL REVIEW**

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1 (l)(1) of the California Environmental Quality Act (CEQA) that allows for the demolition of one single-family residence and Class 3 (a) of the CEQA that allows for the construction of a new single-family residence in a residential zone. The subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance.

## **PLANNING COMMISSION ACTION:**

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution to allow the demolition of an existing single-story residence and construction of a three-story, single-family residence in the Duplex Residential (R-2) Zoning District Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached Conditions of Approval.

**ATTACHMENT #1**

**RESOLUTION NO.**

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE  
APPROVING THE DESIGN REVIEW PERMIT FOR THE DEMOLITION OF AN  
EXISTING SINGLE-STORY RESIDENCE AND THE CONSTRUCTION OF A THREE-  
STORY RESIDENCE IN THE DUPLEX RESIDENTIAL (R-2) ZONING DISTRICT  
WITH AN EXCEPTION REQUEST TO ALLOW AN ARCHITECTURAL FEATURE  
(ROOF EAVES) TO ENCROACH ON FOOT WITHIN THE REQUIRED THREE-FOOT  
INTERIOR SIDE LOT LINE AT 73 SPRUCE STREET. (PUBLIC HEARING)**

**CITY OF MILLBRAE**

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WHEREAS, the applicant has filed PA-2019-007 to design review permit to allow for the demolition of an existing single-story residence and the construction of a three-story residence in the Duplex Residence (R-2) Zoning District with an exception request to allow an architectural feature (roof eaves) to encroach on foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached Conditions of Approval; and

WHEREAS, the proposal will consist of the demolition of an existing single-story 1,001 square foot residence and the construction of a three-story 2,200 square foot single-family residence; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 Class 1 (l)(1) of the California Environmental Quality Act (CEQA) that allows for the demolition of one single-family residence and Class 3 (a) of CEQA that allow for the construction of a new single-family residence in a residential zone; and

WHEREAS, the subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

**Design Review Permit**

**a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

*The majority of the homes in the area are a mix of two-three bedroom, one and two story single-family, duplex homes and apartment buildings with attached garages. Common roof types observed in the neighborhood are a mixture of open gable, flat, and cross hipped roof designs. The proposed three-story, single-family residence would have a hip roofs on the*

*second and third floors. The exterior materials, colors and roof style are similar to the existing residences on the street and in the neighborhood. The project would utilize earth-tone colors and wood paneling in combination with beige painted stucco on the first and third floors. These materials and colors are compatible with the residences in the neighborhood. As conditioned, the front yard landscaping will include natural landscaping behind two terrace retaining walls and shrubs adjacent to the driveway and wood hand railings for the entry staircase.*

*The proposed exterior finishes will be beige stucco finish (first floor) and exterior walnut siding finish (second and third floors), all wood garage door, dark wood front door with four glass windows, front staircase with wood railing and two front outdoor scone style lights on either side of the garage. The front window will be vinyl fixed windows with black beam window frame finish (second floor), and vinyl triple casement windows with black beam window frame finish (third floor). The fascia above the garage will be black and white for the second and third floor roofs. The roof will be dark grey shingle with proposed roof pitch ratio combination of 5:12 and 3:12 for the first floor and 6:12 and 10:12 slope for the third floor.*

*The project's architectural, landscaping, and general appearance are in keeping with the character of the neighborhood.*

**b. The project complies with all applicable development regulations;**

*The subject property is an existing non-conforming interior lot in the R-2 zone and meets all setbacks, floor area and height requirements for the Duplex (R-2) Zone. The proposed project would demolish an existing 1,001 square foot single-story residence and construct a 2,200 square foot three-story, single-family residence. FAR will increase from 40% to 88% (88% is the allowable maximum) and the lot coverage would decrease from 40% to 39% (50% is the allowable maximum). The provided two-car garage meets the parking requirements for a single-family residence. The project complies with all applicable development regulations.*

**c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);**

*Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. There are no identified impacts to views of the San Francisco Bay in the neighborhood from the proposed project.*

**d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.**

*The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.*

Exception Request

The applicant for the proposed project is requesting setback exception to allow the encroachment of the roof eaves one foot into the required three foot within the interior side lot lines. Pursuant to Section 10.05.2530 subsections (C) and (D) of the Millbrae Municipal Code, the following findings are required under this Section of the Code, for the Planning Commission to approve any exception:

- 1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel; and**

*The applicant is requesting a setback exception to allow construction of roof eaves one foot within the required three-foot within the interior side lot lines. On both sides of the proposed building. The setback within the interior lot lines would be two feet (where three feet is required) on the west and east elevations. (MMC Section 10.05.0720, 7.a.) The exception is requested for the following reasons. The narrow non-conforming lot (25 feet, where 50 feet is required) makes it challenging to build a residential building on the narrow lot without the roof eaves encroaching within the three-foot interior lot line. Changes to the building width would create a very narrow interior layout for the livable space. The proposed eaves are designed to be compatible with the neighborhood and the roof eaves provide the attic ventilation required and help control and divert storm water runoff. The exterior walls of the building will meet the required three-foot setback from the property line. The proposed deviation granted will not be detrimental to property and improvements existing upon any abutting parcel.*

- 2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

*The exception request is to allow the roof eaves to encroach one foot into the minimum three-foot side setbacks. The exception is requested because the existing narrow non-conforming lot results in a building exterior wall as proposed requires the roof eaves to extend into the three-foot setback by twelve inches, to clear the water from the roof onto the property. The exterior walls of the building would still comply with the three-foot setback requirement. The proposed setback exceptions are compatible with the property and improvements upon the project.*

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.

2. The adoption of the Design Review Permit and Exception Request will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 4<sup>th</sup> day of January, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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CHAIR  
Maureen Davis

ATTEST:

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SECRETARY  
Roscoe Mata

## **ATTACHMENT #1: EXHIBIT A**

### **CITY OF MILLBRAE PLANNING APPLICATION PROJECT CONDITIONS OF APPROVAL**

**As Approved by the City Council on \_\_\_\_\_**

**Project:** 73 Spruce Street Single Family Dwelling Unit (Planning Application #2019-007)

The following conditions of approval apply to the project referenced above. Additional language within a condition may further define the timing of required compliance.

#### **GENERAL REQUIREMENT CONDITIONS OF APPROVAL:**

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code.
2. The final building permit plans shall include these Conditions of Approval printed on the plan set sheets.
3. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
4. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
5. Front yard Landscaping Requirement - Front yards are required to have not less than 60% landscaping. "Front yard" is a yard extending across the full width of the front of the lot between its front lot line and any portion of the front facade of the main building measured from the front property line. The property owner is responsible for complying with this requirement.
6. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
7. Any off-site improvements found to be damaged shall be repaired and/or replaced as

required by the City of Millbrae Director of Public Works.

8. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.
9. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
10. Developers Fees for School Facilities - All building permits for new buildings or additions over 500 square feet shall pay developer’s fees to both the San Mateo United High School District AND the Millbrae Elementary School District as permitted by the California Education Code section 17620 and California Government Code Section 53080. When a building permit is ready to issue, the permit applicant will be given a copy of the completed application to deliver to the school districts to pay the fees. Then proof of payment must be submitted to the City Building before the permit can be issued.. Please visit the following website to call for current fees and for payment:  
<https://www.ci.millbrae.ca.us/home/showpublisheddocument?id=17533>.
11. Hours of Construction - Pursuant to Millbrae Municipal Code Section 9.05.040, the hours of noise generating construction activity shall be limited to the hours of 7:30 AM to 7:00 PM Monday through Friday, 8:00 AM to 6:00 PM Saturdays and 9:00 AM to 6:00 PM on Sundays and Holidays. Work outside of these hours may be approved by the Building Official when requested, in writing, a minimum of 48 hours in advance.

#### **STANDARD CONDITIONS OF APPROVAL:**

12. Construction Conformance with Approved Planning Application - All building permit application plans and details, and subsequent construction shall substantially conform with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. No signage is approved as part of the planning application; signage is governed by the City’s Sign Ordinance. Documentation of any changes to the approved Planning Application plan set shall be provided at the time of Building Permit application submittal. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. Modifications to Building Permit plans must be approved prior to construction of the modified improvements. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
13. Required Building Wall and Roof Demolition Approval Requirement - No demolition of

exterior walls, roof structure, or any other portion of the building shall be permitted beyond those that are authorized by this planning application approval and related building permit. The Planning Division shall be contacted immediately in the event that during construction the removal of any additional existing walls, roof structure, or any other portion of the building not originally approved for removal are proposed. No further construction or demolition shall continue prior to Planning Division and Building Division approval. A new planning application and a modification to the building permit may be required depending on the scope of the proposed modification to the approved plans.

14. Prior to the framing inspection, a licensed surveyor shall measure the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.
15. Planning Inspections - Planning inspections shall be required at rough framing stage and prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first. The applicant shall submit a written verification prepared by the Project Licensed Landscape Architect that the Landscape Architect has inspected all trees, shrubs, planting and irrigation and that they are installed and functioning as specified in the approved plans.
16. Conformance with Approved Planning Application at All Times - All physical improvements, uses, and operational requirements authorized by the approved planning application shall substantially conform at all times that the use permitted by this planning application occupies the premises with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
17. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
18. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.

19. Payment of Outstanding Planning Application Fees - The applicant shall pay any outstanding planning applications fees prior to the issuance of the first required building permit.
20. Indemnification:
  - a. As a condition of this approval, and to the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, consultants, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever (collectively "Claims") that are caused directly by any third party challenges to the City's approval of the applicant's applications for approval of the project including, but not limited to, the City's California Environmental Quality Act determination for the project. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition. If the applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the City. The parties shall cooperate in the joint defense and if applicable settlement of any such Claim.
21. Developer is hereby notified, as required by Government Code §66020, that the approved plans, the conditions of approval, and the adopted City fee schedule found at <https://www.ci.millbrae.ca.us/departments-services/community-development/planning-division/informational-hand-outs>, constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90-day period has begun in which Developer may protest any dedications, reservations, fees or other exactions imposed by the City. Failure to file a protest within the 90-day period in compliance with all of the requirements of Government Code §66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

22. Payment of Development Impact Fees - The applicant shall pay the Citywide Development Impact Fees. The final fee shall be determined based on the fee in effect at the time the fee is paid, as established by City Council resolution. The City applies the current fees in effect at the time of payment of any permit fees - All fees imposed on a non-residential development project shall be paid prior to the issuance of the first required building permit for non-residential projects. All fees imposed on a residential development project with one unit shall be collected prior to the date of the final inspection, or the date the certificate of occupancy is issued, whichever occurs first. For residential developments containing more than one unit, all fees shall be paid when the first unit in the development receives its final inspection or certificate of occupancy, whichever occurs first. If fees are paid at final inspection or occupancy, an impact fee agreement between the city and the applicant shall be prepared and recorded as a lien on the property(ies).
23. During construction the following standards for sanitation are required: Garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.

#### **BUILDING DIVISION CONDITIONS OF APPROVAL:**

24. The applicant shall submit building permit plans that shall indicate that the roof projection (overhang) around the perimeter of the building both first and second floor shall be constructed with 1 hour fire rated construction tested in accordance with ASTM E119 CRC TableR302.1(1)
25. The proposed project exceeds 900 square feet in total floor area of addition, remodeling and new construction shall require the installation of automatic fire sprinkler system.
26. The applicant shall ensure the finish elevation of the basement bedroom and garage be higher than the top elevation of the nearest storm drain, or provide adequate storm drainage to divert storm water to the street to reduce the possibility of flooding.

#### **PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL:**

27. Site Improvement Plans. The applicant shall ensure that Site Improvement Plans for all on-site and off-site improvements shall be prepared by a Registered Civil Engineer and approved by the City Engineer. All improvements shall be designed and constructed in accordance with the City's Design Standards, Specifications and Standard Plans, unless otherwise specifically approved by the City. On-site and off-site improvements include, but are not limited to, the following: storm drainage, street improvements, utilities, and landscaping; water mains and fire hydrants; sanitary sewer; utility undergrounding; and

any other improvements listed herein necessary for a complete and acceptable public improvement project.

28. Encroachment Permit. The applicant shall obtain an Encroachment Permit from the City of Millbrae Public Works Department prior to beginning any work within any public right-of-way.
29. Private Property Off-site Encroachments. If the design of any site improvement requires encroachments onto neighboring properties during construction, the applicant shall obtain written agreement(s) with the affected neighboring property owner(s) for submittal to the City Engineer, for review and approval, prior to approval of the permit for the work.
30. Damage to Existing Utilities, Pipelines and Other Appurtenant Structures. Any existing utilities, pipelines and other appurtenant structures that are to remain after development, if damaged by project construction, shall be replaced by the applicant to the satisfaction of the City Engineer, prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first.
31. Grading Plan. The applicant shall submit all information including a Grading Plan accompanied by Soils Engineering and Engineering Geology Reports, in the accordance with requirements of the City of Millbrae Municipal Code Title 9, Chapter 9 and obtain a grading permit and pay appropriate fee and security deposit.
32. Erosion Control Measures. The Grading Plan shall also include erosion control measures to prevent soil, dirt and debris from entering the storm drain system, in accordance with the practices outlined in the ABAG Erosion and Sediment Control Handbook, California Storm Water Best management practice Handbooks, and the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual.
33. Compliance with Grading Regulations. The applicant shall comply with the regulations and provisions contained in the City's Grading Ordinance, the City's Storm Water Pollution Prevention Permit, and the National Pollutant Discharge Elimination System (NPDES), to the satisfaction of the City Engineer and the Regional Water Quality Control Board.
34. Off-site Improvements. The applicant shall provide offsite improvements and install new sidewalk, curb and gutter from property line to property line.
35. Compliance with Americans with Disabilities Act (ADA). All new sidewalks and driveways shall comply with the Americans with Disabilities Act (ADA) requirements.
36. Storm Drainage Improvements. All storm drainage facilities shall be in accordance with the City of Millbrae standards. The storm drainage improvements design shall be submitted to the City and are subject to the review and approval by the City Engineer.

## **ENVIRONMENTAL SERVICES CONDITIONS OF APPROVAL:**

37. Debris Box & Roll-Away Bins: The City has an exclusive contract with South San Francisco Scavenger. All debris boxes and roll-away bins shall be obtained through South San Francisco Scavengers. A [Debris Box Acknowledgement Form](#) must be filled out prior to obtaining any permits and included in the document referenced below. A debris Box Acknowledgement Form can also be obtained by e-mailing [apappajohn@ci.millbrae.ca.us](mailto:apappajohn@ci.millbrae.ca.us), calling (650) 259-2444 or picking one up at the Public Works counter at City Hall.
38. Construction and Demolition Reuse and Recycling Requirements & Space Requirements: Applicants are required to follow the CalGreen Building Code requirements for reusing and recycling materials generated from projects as implemented by the City's Building Division.
39. Solid waste bins – operations: Applicants are required to subscribe to the city's three-container collection services per City code 6.45.030. Generator will place source separated green container organic waste, including food waste, in the green container; source separated recyclable materials in the blue container; and gray container waste in the gray container. Applicant must ensure that they have subscribed to a recycling and organics recycling service level that is sufficient to allow all recyclables and organics to be collected from their property/business.

## **SPECIAL CONDITIONS OF APPROVAL**

40. The applicant shall submit a revised landscape plan for review and approval by the Planning Division prior to the building permit issuance that eliminates artificial grass. The revised landscape plan shall be included with the building permit plans for the project.
41. The applicant shall plant one 24" box tree at the front yard between the front entry and the sidewalk. The applicant shall prepare a landscape and irrigation plan for review by, and subject to the approval of, the Planning Division as part of the building permit plan set.

*Think deep. There are always ways to improve.***DATE: MAY 28, 2021****INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN****DESIGN PROFESSIONAL**

3626 Geary Blvd, Suite 203  
San Francisco, CA 94118  
Phone: (415) 702-6889  
Email: [Inncondesign@gmail.com](mailto:Inncondesign@gmail.com)

**PROJECT FOR:**

73 Spruce Street  
Millbrae, CA 94030

## Project Description

The proposed application at 73 Spruce Street is to demolish the existing single-story building in order to erect a 3-story single-family home with 2 covered parking spaces (in compliance with Total Living Area per Parking Guidelines) in the Zoning District R-2.

The new building design will strictly comply with the City of Millbrae Planning Department's design guidelines—the building is setback 3'-0" at each side and 20'-0" at the front; the lot coverage does not exceed 50%; the floor-area ratio does not exceed 88%; the building height does not exceed 30'-0"; and the rear 1/3 of the lot is to be used for open space.

The design of this new single-family home takes Millbrae's Residential Design Review into consideration with varying roof heights, styles, and slopes. The second floor features a slight overhang and recessed entrance, while the third floor features a recessed design to minimize the appearance of a tall structure. The architectural features of this new building reduces the bulky appearance by using materials such as horizontal siding exterior finish in conjunction with smooth stucco.

Sincerely,

InnCon Design Team

*Think deep. There are always ways to improve.***DATE: JUNE 6, 2022****INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN****DESIGN PROFESSIONAL**

3626 Geary Blvd, Suite 203  
San Francisco, CA 94118  
Phone: (415) 702-6889  
Email: [Inncondesign@gmail.com](mailto:Inncondesign@gmail.com)

**PROJECT FOR:**

73 Spruce Street  
Millbrae, CA 94030

Dear Planning Commission,

**Background**

The following letter is written in regards to the proposed project at 73 Spruce Street, Millbrae CA 94030, APN: 021-302-220. The proposed project is to construct a new three-story single-family home. On behalf of the owners, they would like to request an Exception due to the proposed roof eaves encroaching one foot into the required minimum side set back of three feet on both sides of the property. All exterior walls will comply with the three feet side setback and only the one feet roof eaves would encroach into the side setback.

The proposed building will be situated on a non-conforming lot due to the width being twenty-five feet, as it does not meet the minimum required lot size based on MMC 10.05.0720 of fifty feet.

**Reasonings and Discussions**

An Exception is being requested due to the proposed building being situated on a narrow non-conforming lot. Due to the narrow lot width, the building's overall usage and practicality is greatly limited and reduced. With the exterior building walls complying with the side setback, there is just sufficient width required for a garage, hallway and interior staircase on the 1<sup>st</sup> Floor. Any changes to the width of the building or the current proposed interior layout, it would create a much narrower interior environment and some spaces unusable. The roof eave was design to have similar characteristic of the surrounding buildings in the neighborhood as well as functionality. These roof eaves also provide the necessary attic ventilation required and helps control and divert storm water runoff.

**Findings**

The exceptions application materials shall be evaluated by the planning commission in relation to the following finds required in order to approve any exception:

1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site (73 Spruce Street) is located will not, under the circumstance of the particular case, be detrimental to property and improvement existing upon any abutting parcel; and
2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site (73 Spruce Street) is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.

Sincerely,

InnCon Design



# City of Millbrae

## PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for building a new structure (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

A handwritten signature in black ink, appearing to read "Fiona Lee".

07.15.2021

Date

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, Corinne Drumm, own the property located at 85 Spruce St. On 07 / 15 / 2021, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Corinne Drumm  
Signature

7/31/21  
Date

I oppose the proposal as shown to me

Signature

Date

Corinne Drumm

cdrumm@sbcglobal.net

650 455 0631

Name

Email

Contact Number

Comments (optional):

It will be a nice enhancement to the neighborhood.

November 2017



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for building a new structure (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

RECEIVED

07/01/2020

Date

JUL 20 2021

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

**CITY OF MILLBRAE**

**PLANNING DIVISION**

(Adjacent property owner to complete the following)

I, ANGELINE LEOW, own the property located 337 CEDAR ST, MILLBRAE, CA 94030. On   /  /  , the above proposal was shown to me and I received a copy of the plans.

6/7/21

Date

I support the proposal as shown to me.

I oppose the proposal as shown to me.

Conditional support of proposal:

The owner, Miss Fiona Lee of proposed development mentioned in this form, shall give undertaking in writing to me that in the event of any damage to my land property and house structure and any structural and non structural finishing and fixtures in my house due to

a) vibration from demolition and new construction at 73 Spruce Street

b) ground settlement at my car porch, pavement, fencing and building settlement due to ground water drawdown caused by the demolition and construction of new building at 73 Spruce Street

The owner, Miss Fiona Lee and / or the builder engaged by Miss Fiona Lee, shall compensate me for the cost of repair to any damages to my property, and house structure and any structural and non structural finishing and replacement of damaged fixtures in my house.

Name

Comments

November



Think deep. There are always ways to improve.

DATE: MAY 28, 2021

INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN

**DESIGN PROFESSIONAL**

3626 Geary Blvd, Suite 203  
San Francisco, CA 94118  
Phone: (415) 702-6889  
Email: [Inncondesign@gmail.com](mailto:Inncondesign@gmail.com)

**PROJECT FOR:**

73 Spruce Street  
Millbrae, CA 94030

## Design Review for New Build Construction

Dear Neighbor,

This letter is to serve as a second notification for the revised architectural project of 73 Spruce Street in the Zoning District R-2.

The proposed application is to demolish the existing single-story building in order to erect a 3-story single-family home with two covered parking spaces (in compliance with Total Living Area per Parking Guidelines). The new building design will strictly comply with the City of Millbrae Planning Department's design guidelines—the building is setback 3'-0" at each side and 20'-0" at the front; the lot coverage does not exceed 50%; floor area ratio does not exceed 88%; the building height does not exceed 30'-0"; the rear 1/3 of the lot is to be used for open space.

The project is not designed to be an inconvenience to the neighbors or to the city's general welfare by meeting most of the requirements by the Zoning Ordinance. There is no substantial impact in regards to the obstruction of direct sunlight, privacy, or view to the adjacent dwellings.

After looking over the project's Site Plan, we kindly prompt you to review and sign the attached form **Proof of Adjacent Owner Consultation** as your input is important to us and the City of Millbrae. You may submit the physical copy via mail with the pre-stamped envelope included, or you may scan the form and email it to us. If you have any questions, please do not hesitate to contact us for further information. All contact information is listed above. Thank you.

Stay Healthy & Well,

InnCon Design Team



**City of Millbrae**  
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, YIN KWAN -TAM, (owner/owner's agent), have met with the party listed below regarding a PLANNING PERMIT (type of permit(s)) for CREATE NEW THREE STORIES BUILDING (project description) at 73 SPRUCE ST (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, KENNETH + Pilar MYERS, own the property located at 339 CEDAR STREET. On 3 / 5 / 19, the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Kenneth R Myers  
Signature

3-5-19  
Date

I oppose the proposal as shown to me

Pilar Myers  
Signature

3-5-19  
Date

**1.-Propose three story building not in conformity with surrounding structures.which are two stories.**

**2.- propose structure is near a dangerous intersection Spruce & Bay St. Where Lomita Park is located. Cars drive Very rapidly endangering pedestrians and specially children.**

**RECEIVED**

**MAR 7 2019**

**3.- There is inadequate parking for a three story building, Spruce ST. Is very crowded.**

**4.- Too many investors/owners in this neighborhood. They don't take care of the properties.**

**CITY OF MILLBRAE  
PLANNING DIVISION**

Kenneth R. Myers  
339 Cedar St.  
Millbrae, CA 94030  
Tel. (650)872-3569

City Of Millbrae, CA  
621 Magnolia Ave.  
Millbrae, CA 94030  
January 2, 2019

RECEIVED

Dear Sirs,

JAN - 2 2019

I oppose the granting of the building permit for the property located at 73 Spruce St., Millbrae, CA for the following reasons:

City of Millbrae

- 1.- The proposed structures is three stories high. Much higher than the surrounding structures and conflicting with Millbrae's building code for that area which permits structures of only two levels.
- 2.- The soil under the proposed structure is essentially mud. When you dig down three feet you meet water. Such land would not support a three story structure.
- 3.- No three storied structures exist in this area of Millbrae. Such a building would be out of place.
- 4.- The proposed lot for the build is very small and the building would be cramped.
- 5 There is insufficient parking provided for the tenants in the proposed structure. Parking is already difficult in that area of Millbrae and there is no room for more cars on the streets in tha area.
- 6.- The parking situation is further exacerbated by the failures of the builder to provide sufficient parking for the proposed tenants in the tiny structure planed

Yours truly,

  
Kenneth R. Myers

Response requested

- ① Kenneth Myers, 339 Cedar St., Millbrae, CA 94030
- ② Corinne Drumm, 2001 Oakmont Way #4, Walnut Creek, CA 94595
- ③ SEE ATTACHED. DOCUMENTS.

Corinne Drumm  
Owner: 85 Spruce St  
cdrumm@sbcglobal.net  
650 455 0631

Residence: 2001 Oakmont Way #4  
Walnut Creek, CA 94595

H. Fyi ☺

Did you get notice of a planning permit to  
build a duplex @ 73 Spruce?

I'm not against new construction, but I returned  
my form marked

I oppose the proposal as shown to me

I've enclosed a few pieces of research I did.  
I also contacted the city to ask them to keep me  
in the loop to be advised of planning meetings.

Corinne Drumm

FOR DISCUSSION WITH THE NEIGHBORS AND FOR YOUR INFORMATION:

1. The FAR for R2 is a maximum of 88%. The proposed home is 95.84%. I do not believe the property qualifies for an exception because the lot slope is not more than 30%.
2. The proposed structure is 27', which is 2' higher than allowed for non-sloped roofs. A variance would be required to allow the variance.
3. The setbacks are insufficient. For a duplex, the following setbacks are required:
  - \* FRONT - 20' is required (plan is compliant at 20')
  - \* REAR - 15' is required (plan is compliant at 16')
  - \* SIDE - 5' is required, but it can be reduced to 10% of the lot width but in no case less than 3'. (Plan is for 3', but the distance from the neighboring property at 85 Spruce may be less than 3', which could be a problem under the California Building Code for fire safety).
4. For duplexes, there must be 1,000 sq.ft. of open and uncovered space. (The plan proposes 400 sq.ft.)
5. The R2 lot width minimum is 50' and the area is 5,000 sq.ft. 73 Spruce is 25' wide and 2,500 sq.ft. In an R2 zone permitted uses are single family, duplexes, and triplexes, depending on your lot configuration. Even though the lot is in the R2 zone, the lot size is too small to support a duplex.
6. 2 garage spaces are required per unit. For a duplex, for GARAGE spaces are needed. The automated lift is not practical and will result in the owners not parking their cars in the garage. The plan also proposes to excavate for the garage. A soil study is needed to determine the stability as the area is on fill.

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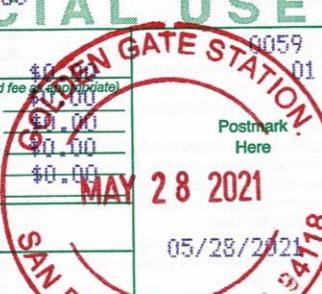
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Millbrae, CA 94030

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San Francisco, CA 94101											
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<p>Sent To  <b>FIONA LEE</b>            Street and Apt. No., or PO Box No.  <b>3626 GEARY BLVD. #203</b>            City, State, ZIP+4®  <b>SAN FRANCISCO, CA 94118-3278</b></p>											

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Millbrae, CA 94030

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Extra Services & Fees (check box, add fee if applicable)

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Postage \$1.20

Total Postage and Fees \$4.80

Postmark Here

0059 01

28 MAY 2021

SAN FRANCISCO, CA 94118

05/28/2021

Sent To  
**OCCUPANT**  
Street and Apt. No., or PO Box No.  
65 SPRUCE ST.  
City, State, ZIP+4®  
MILLBRAE, CA 94030 - 2028

PS Form 3800, April 2015, DSN 7500-00-000-0017  
See Reverse for Instructions

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<p>66 SPRUCE ST.</p>	
<p>City, State, ZIP+4</p>	
<p><b>MILLBRAE, CA 94030-2029</b></p>	
<p>PS Form 3800, April 2015 PSN 7530-02-000-9047</p>	
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# City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

July 12, 2021

✓ Kenneth R. Myers  
339 Cedar Street  
Millbrae, CA 94030

**RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification**

Dear Mr. Myers:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

Sam Fielding  
Senior Planner  
[sfielding@ci.millbrae.ca.us](mailto:sfielding@ci.millbrae.ca.us)  
650-259-2336



# City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

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ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

July 12, 2021

Angeline Leow  
337 Cedar street  
Millbrae, CA 94030

**RE: 73 Spruce Street Proposed Design Review Notification**

Dear Ms. Leow:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. We did not receive a reply from you and would like to confirm you were notified of the planned addition. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

Sam Fielding  
Senior Planner  
[sfielding@ci.millbrae.ca.us](mailto:sfielding@ci.millbrae.ca.us)  
650-259-2336



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ANNE OLIVA  
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Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

July 12, 2021

Kelly and Corinne Drumm  
2001 Oakmont Way, Apt. #4  
Walnut Creek, CA 94595

**RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification**

Dear Ms. Drumm:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

Sam Fielding  
Senior Planner  
[sfielding@ci.millbrae.ca.us](mailto:sfielding@ci.millbrae.ca.us)  
650-259-2336



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Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

July 12, 2021

Kendrick Watkins  
70 Spruce Street  
Millbrae, CA 94030

## **RE: 73 Spruce Street Proposed Design Review Notification**

Dear Mr. Watkins:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. We did not receive a reply from you and would like to confirm you were notified of the planned addition. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

Sam Fielding  
Senior Planner  
[sfielding@ci.millbrae.ca.us](mailto:sfielding@ci.millbrae.ca.us)  
650-259-2336



# City of Millbrae

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ANN SCHNEIDER  
Mayor

ANNE OLIVA  
Vice Mayor

GINA PAPAN  
Councilmember

ANDERS FUNG  
Councilmember

REUBEN D. HOLOBER  
Councilmember

July 12, 2021

Jeanne M. Burns  
150 Inverness Drive  
San Francisco, CA 94132

**RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification**

Dear Ms. Burns:

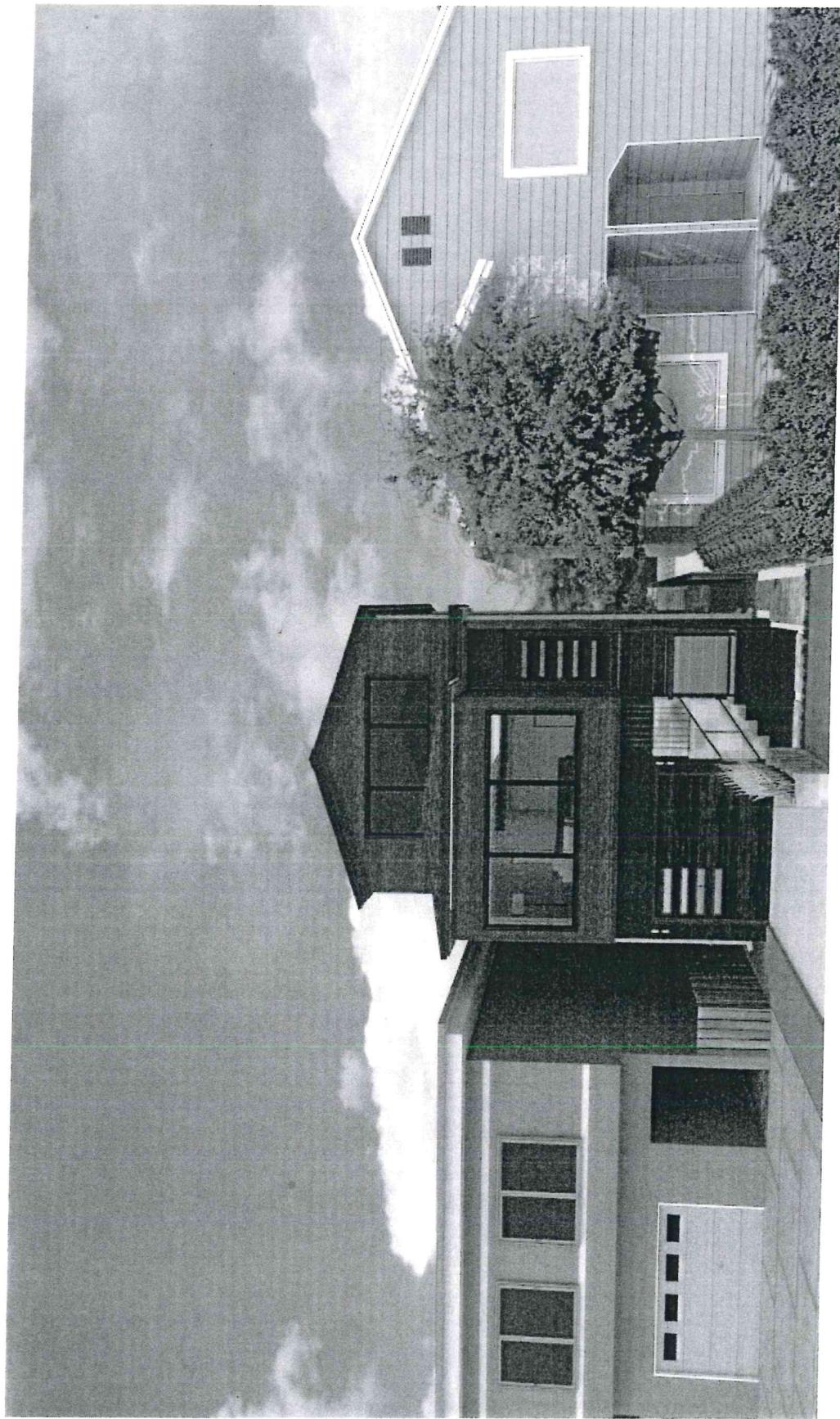
The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

Sam Fielding  
Senior Planner  
[sfielding@ci.millbrae.ca.us](mailto:sfielding@ci.millbrae.ca.us)  
650-259-2336









# City of Millbrae

## PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for constructing a new single-family home (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

05.28.2021

Date

### THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Kenneth R Myrus, own the property located at 339 CEDAR ST.. On 6/11/21, the above proposal was shown to me and I received a copy of the plans.

SELECT ONE

I support the proposal as shown to me.

Signature

Date

I oppose the proposal as shown to me

Signature

Date

Kenneth R Myrus

Email

(650) 872-3569  
Contact Number

Comments (optional):

we object to height (proposal) of 3 story building.  
new structure should not exceed 2 stories  
Inadequate parking. More parking spaces needed  
This neighborhood full of extra cars. Too crowded

November 11, 2017



# City of Millbrae

## PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for constructing a new single-family home (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

05.28.2021

Date

**THIS FORM IS TO BE RETUNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT**

(Adjacent property owner to complete the following)

I, ANGELINE LEON, own the property located at 337 CEDAR ST.. On   /  /  , the above proposal was shown to me and I received a copy of the plans.

I support the proposal as shown to me.

Signature

Date

I oppose the proposal as shown to me

Signature

Date

Name

Email

Contact Number

Comments (optional): CONDITIONAL SUPPORT OF PROPOSAL

IN THE EVENT OF ANY DAMAGE TO MY LAND, PROPERTY & HOUSE STRUCTURE, AND ANY STRUCTURAL & NON-STRUCTURAL FINISHING & FIXTURES IN MY HOUSE DUE TO: (1) VIBRATION FROM DEMOLITION AND NEW CONSTRUCTION AT 73 SPRUCE STREET (2) GROUND SETTLEMENT AT MY CAR PORCH, PAVEMENT, FENCING AND BUILDING SETTLEMENT DUE TO GROUND WATER DRAWDOWN CAUSED BY THE DEMOLITION AND CONSTRUCTION OF NEW BUILDING AT 73 SPRUCE STREET, I SHALL BE COMPENSATED FOR THE COST REPAIR TO ANY DAMAGES TO MY PROPERTY & HOUSE STRUCTURE, AND ANY STRUCTURAL & NON-STRUCTURAL FINISHING AND REPLACEMENT OF DAMAGED FIXTURES IN MY HOUSE.

November 2017

# 73 SPRUCE ST. MILLBRAE, CA

## SITE PHOTOGRAPHS

### KEY MAP



# RESIDENCY

## NEW BUILD

### 73 SPRUCE STREET

### MILLBRAE, CALIFORNIA

### APN 021-302-220

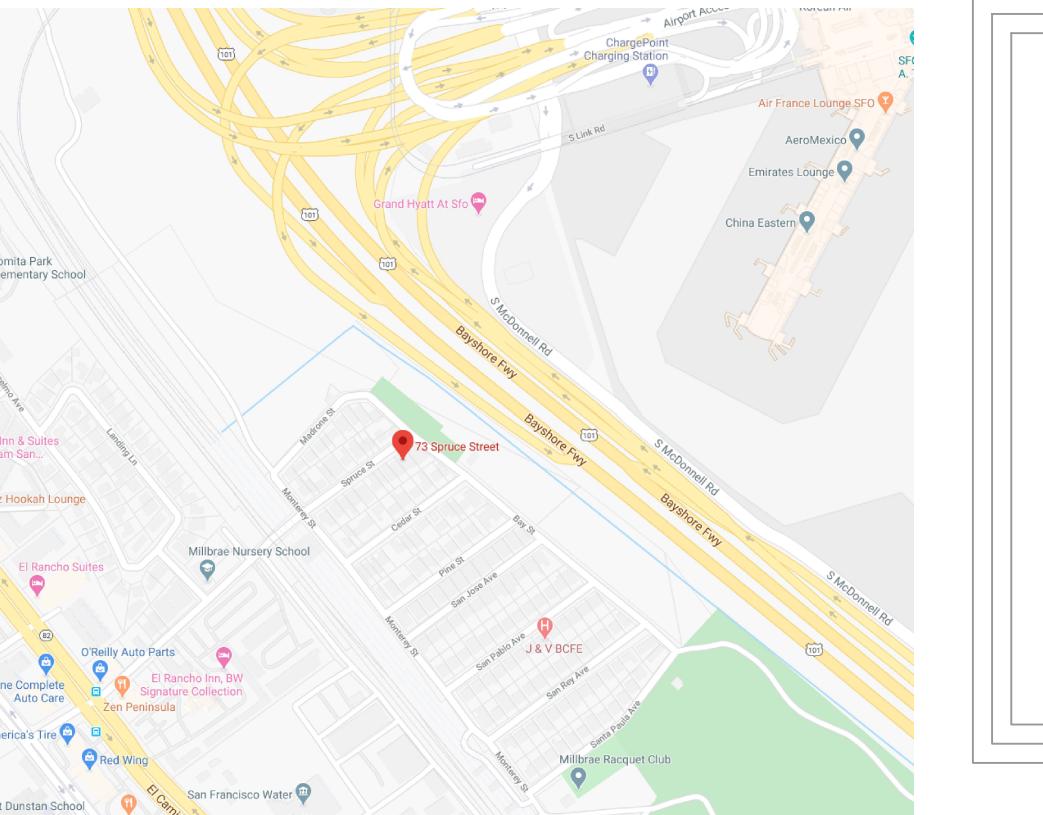


INNCON DESIGN  
SUBSIDIARY OF INNOVATIVE  
CONSTRUCTION IMPLEMENT & DESIGN CO.,  
INNCON DESIGN ELECTRIC.  
Address: 3626 GEARY BLVD, SUITE 203, 204  
SAN FRANCISCO, CA 94118  
Phone: 415.570.6888  
Email: INNCONDESIGN@GMAIL.COM

APPLICANT:  
YIN KWAN TAM

73 SPRUCE STREET,  
MILLBRAE, CA 94030

GENERAL NOTES		PROPERTY INFORMATION	
BUILDING:		ADDRESS: 73 SPRUCE STREET MILLBRAE CA 94030 PARCEL APN: 021-302-220 CENSUS TRACT: 6044 CONSTRUCTION TYPE: V-B ZONING: R-2 OCCUPANCY: R3NU PARCEL AREA: ± 2,500 SQ. FT.	
1. MINIMUM CEILING HEIGHT IS 7'-6" CLEAR, FROM FINISH FLOOR TO THE FINISHED CEILING. 2. INSULATION IS REQUIRED TO BE INSTALLED IN ALL WALLS, FLOORS AND CEILINGS OPEN FOR CONSTRUCTION BETWEEN HABITABLE SPACE AND NON-HABITABLE SPACE, SUCH AS EXTERIOR WALLS, CRAWL SPACES AND ATTICS. TYPE OR INSULATION REQUIRED: WALLS: 2x6 R-13 OR 2x6 R-19 CEILING: R-30 FLOOR: R-19		3. A MODIFIED 1-HR WALL IS REQUIRED BETWEEN THE GARAGE AND THE BATH. THE GARAGE-SIDE SHEETROCK SHALL BE MINIMUM ½" THICK. 4. DOOR OPENING TO GARAGES MUST BE A MINIMUM OF 1 ½" SOLID CORE, SELF CLOSING AND SELF LATCHING. THE DOOR MUST SEAL ON ALL FOUR EDGES. DOORS SHALL NOT SWING OVER STEPS OR LANDINGS. 5. A FLOOR SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. THE NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET MINIMUM (GROSS). DOOR OPENINGS MAY HAVE A NET CLEAR OPENING OF 5.0 SQUARE FEET MINIMUM, THE NET CLEAR HEIGHT SHALL BE 24 INCHES MINIMUM, AND THE NET CLEAR WIDTH SHALL BE 20 INCHES MINIMUM. 6. WINDOWS WITHIN THE TUBSHOWERS ENCLOSURE AND THE BOTTOM EXPOSED EDGE IS LESS THAN 20-INCHES ABOVE THE FLOOR, SHALL BE SAFER GLASS. 7. MATERIAL APPROVED FOR USE WITHIN THE TUB OR SHOWER COMPARTMENT SHALL BE CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER AND WITH CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPT THE INSTALLATION OF MOLED ONE PIECE ENCLOSURES, SHALL BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD. 8. SMOKE DETECTORS WILL BE REQUIRED. 9. CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR. 10. PIPING FOR IMPELLING HEATING TO THE TANK FOR WATER HEATER AND FURNACE. HABITABLE SPACES SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR ON A DESIGN HEATING DAY. 11. ALL EXPOSED WOOD MEMBERS SHALL BE PRESSURE TREATED WOOD OR REDWOOD. 12. ALL HARDWARE AND FASTENER EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED.	
ELECTRICAL:		1. A DEDICATED BATHROOM CIRCUIT IS REQUIRED. MULTIPLE BATHS ON THE SAME CIRCUIT IS ALLOWED. ALL RECEPTACLES SHALL BE GFI PROTECTED. 2. A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM. 3. A MINIMUM OF TWO 20-AMP, DEDICATED KITCHEN COUNTER CIRCUITS ARE REQUIRED. ALL OUTLETS UNDER RECEPTACLES SHALL BE GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI) PROTECTED. THE COUNTER TOP CIRCUITS CAN ONLY BE SHARED WITH THE DINING ROOM OR A PANTRY, DISHWASHERS, GARBAGE DISPOSALS, IN-SINK SHOTOTS, COMPACTORS, BUILT IN MICROWAVE OR THE KITCHEN LIGHTING SHALL NOT BE ON THE SAME ELECTRICAL CIRCUITS. 4. RECEPTACLES SHALL BE LOCATED SO NO APPLIANCE WILL BE FURTHER THAN 2 FEET FROM ANY RECEPTACLE OUTLET. (4 MAX APART LOCATED ON ALL COUNTERS). COUNTER TOPS WIDER THAN 30" SHALL HAVE A RECEPTACLE. 5. THE RECEPTACLES MAY NOT BE LOCATED MORE THAN 12" BELOW THE COUNTER SURFACE AND OR BELOW A COUNTER THAT EXTENDS MORE THAN 6" BEYOND A CABINETS END. 6. THE MAXIMUM LENGTH OF ELECTRICAL CORDS FOR A GARBAGE DISPOSAL IS 36" AND DISHWASHERS REQUIRE HANDLE TIE-BARS ON CORDS AND INTEGRAL ELECTRICAL SERVICE PANEL. 7. AT LEAST HALF THE INSTALLED WATTAGE OF LIGHT FIXTURES (NOT THE NUMBER OF FIXTURES) IN KITCHENS SHALL BE HIGH EFFICACY. LIGHT FIXTURES OTHER THAN HIGH EFFICACY SHALL BE SWITCHED SEPARATELY. LIGHT NOT CLASSIFIED AS PART OF KITCHEN SHALL IMMEDIATELY SWITCHED. 8. THE MAIN LIGHTING SOURCE SHALL BE FROM A HIGH EFFICACY LIGHT FIXTURE OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. 9. ALL 120-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING LIGHTS, STOVES, AND APPLIANCES IN KITCHEN, PANTRY, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENs, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF BOTH LIFES AND PROPERTY. 10. IN ALL HABITABLE AREAS, HALLWAYS, KITCHEN, BATHROOMS, GARAGES, AND AREA OUTSIDE OF THE RESIDENCE, ALL 120-VOLT, 15- AND 20- AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. 11. ALL OUTLETS LOCATED LESS THAN 50" ABOVE THE FLOOR SHALL BE TAMPER-RESISTANT RECEPTACLES (CEC 406.12). PLUMBING: 7. TOILETS SHALL HAVE A MINIMUM OF 30-INCHES CLEAR SPACE AND A MINIMUM OF 18-INCHES CLEAR SPACE TO THE LEFT. NEW TOILET MUST BE WATER CONSERVING 1.28 GALLON. 8. SHOWER COMPARTMENTS SHALL HAVE A MINIMUM OF 120 SQ. INCHES AND SHALL BE CAPABLE OF ENCOMPASSING A 30-INCHES CIRCLE TO A HEIGHT AT LEAST 72-INCHES ABOVE THE THRESHOLD. VALVES, SHOWERHEAD, SOAP DISH AND SHELVES MAY PROTRUDE INTO THIS SPACE. 9. THE SHOWER PAN LINER MUST SLOPE ¼-INCHES PER FOOT TO WEEP HOLES IN DRAIN, AND INSPECTED UNDER TEST PRIOR TO COVERING. 10. SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. SHOWER DOOR SHALL OPEN OUTWARD AND SHALL BE MINIMUM 24" INCHES. 11. ALL NEW GAS PIPING SHALL BE SIZED TO SUFFICIENT GAS TO THE APPLIANCES. THE GAS PIPING SHALL BE TESTED WITH 10 LBS OF AIR PRESSURE FOR A MINIMUM OF 15 MINUTES. 12. ALL OVEN AND STOVE GAS VALVES SHALL BE READILY ACCESSIBLE AND BE EASILY TURNED ON AND OFF. FLEXIBLE GAS CONNECTORS MAY NOT BE CONCEALED OR PASS THROUGH ANY FLOOR, WALL, PARTITION, CEILING OR APPLIANCE HOUSING. 13. AN AIR-GAP, ABOVE THE SIN RIM, SHALL BE INSTALLED BETWEEN THE DISHWASHER DRAINPIPE AND THE GARBAGE DISPOSAL INLET. 14. A PRESSURE RELIEF DEVICE (WATER HAMMER ARRESTOR) SHALL BE INSTALLED BEFORE THE DISHWASHER ANGLE-STOP. THE DEVICE SHALL BE AN AIR-CHAMBER OR APPROVED MECHANICAL DEVICE.	
MECHANICAL:		1. BACK-UP VENTERS ARE REQUIRED ON VENTILATION SYSTEMS EXHAUSTING TO EXTERIOR. 2. DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90° ELBOWS. TERMINATION OF THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING. 3. A DRYER EXHAUST DUCT SHALL BE REQUIRED. FAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROPERTY LINES. FOR NATURAL VENTILATION, AN OPERABLE WINDOW MINIMUM 3 SQ. FEET WITH 1.5 SQ. FEET IN VENT AREA. 4. A DRYER EXHAUST DUCT, 30" IN DIAMETER, IS REQUIRED ABOVE A COOK TOP TO COMPENSATE FOR MATERIALS, AND A MINIMUM VERTICAL CLEARANCE OF 24" ABOVE A RANGE OR COOK TOP TO A BUILT-IN MICROWAVE OVEN IS REQUIRED. 5. MECHANICAL VENTILATION IS REQUIRED IN THE KITCHEN IF OPERABLE WINDOW OR OPERABLE SKYLIGHTS WITH A NET OPENING OF AT LEAST 4% OF THE FLOOR AREA IS NOT PROVIDED. OR ADEQUATE VENTILATION CANNOT BE OBTAINED FROM AN ADJOINING ROOM. 6. BATHROOM EXHAUST FAN TO BE "ENERGY STAR" COMPLIANT (CGBC 4.506.1). 7. CLOTHES WASHERS SHALL HAVE A WATER FACTOR EQUAL TO OR LESS THAN 1.20 (DMC 15.20.070). 8. DISHWASHERS SHALL USE LESS THAN 6.5 GALLONS PER CYCLE, OR BE ENERGY STAR QUALIFIED (DMC 15.20.070).	
GREEN BUILDING STANDARDS CODE - RESIDENTIAL		1. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING (CGBSC 4.506.1.1) 2. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROVIDED TO PREVENT THE PAVAGE OF RODENTS BY CLOSING THE OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY (CGBSC 4.0406.1). 3. PROVIDE AN OPERATIONAL MAINTENANCE MANUAL OF ALL NEW EQUIPMENT INSTALLED TO THE BUILDING OCCUPANT OR THE OWNER (CGBSC 4.410.2). 4. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN PREVENTING DUST AND DIRT IN HVAC SYSTEMS (CGBSC 702.1). 5. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, OWNER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE (CGBSC 703.1).	
PROJECT DIRECTORY		OWNER: YIN KWAN TAM 73 SPRUCE STREET MILLBRAE, CA 94030 DESIGN, ENGINEERING & T-24 ENERGY COMPLIANCE TEAM: INNCON DESIGN 3626 GEARY BLVD, SUITE 203 SAN FRANCISCO, CA 94118 (415) 702-6888 BUILDER: TBD	



### VICINITY MAP



### LIST OF DRAWINGS

A1.0	COVER SHEET, SITE PLAN, GENERAL NOTES, VICTINITY MAP, LEGEND, PROPERTY INFO, SCOPE OF WORK
A1.1	FLOOR PLAN AND DEMOLITION DIAGRAM
A2.0	FLOOR PLAN
A2.1	ROOF PLAN
A2.3	LANDSCAPE PLAN
A3.0	DETAIL
A3.1	DETAILS
A4.0	ELEVATION
A4.1	ELEVATION
A4.2	ELEVATION
A4.3	ELEVATION
A5.0	SECTION
A6.0	WINDOW AND DOOR SCHEDULE
A7.0	3-D RENDER

### WATER CONSERVATION REQ.

1. PROVIDED MAXIMUM 1.8 GALLONS PER MINUTE @ 80 PSI FOR SHOWER HEADS
2. PROVIDED MAXIMUM 1.20 GALLONS PER MINUTE @ 60 PSI FOR LAVATORY FAUCETS
3. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR TANK-TYPE TOILET
4. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR FLUSHOMETER WATER CLOSET
5. PROVIDED MAXIMUM 0.125 GALLONS PER MINUTE FOR URINALS
6. PROVIDED MAXIMUM 1.80 GALLONS PER MINUTE @ 60 PSI FOR KITCHEN FAUCETS

### ABBREVIATIONS:

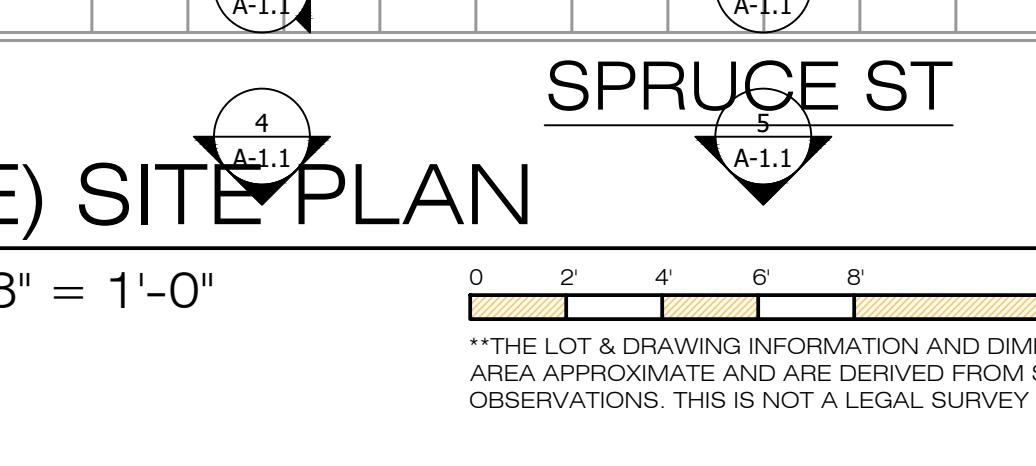
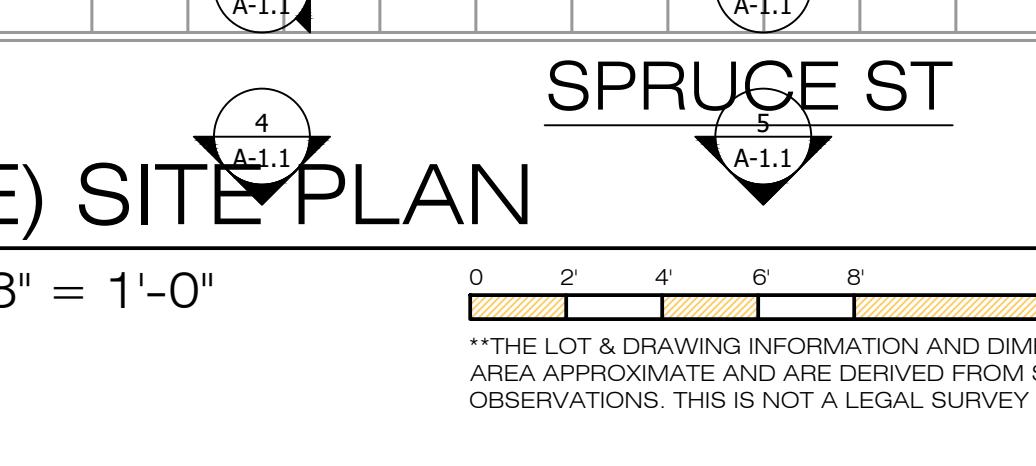
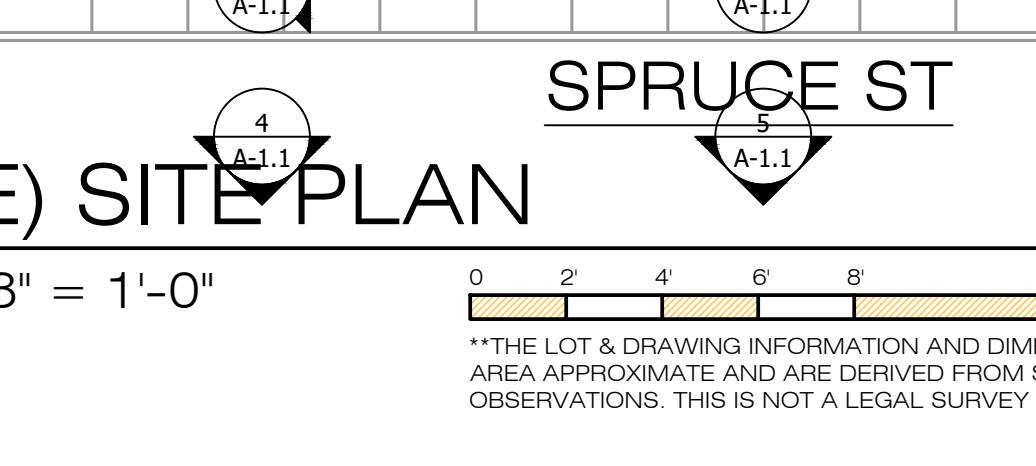
ABV.	ABOVE	MIN.	MINIMUM
A.F.C.	ABOVE FINISH FLOOR	MISC.	MISCELLANEOUS
B.E.	BELOW	N.O.N.	NEVER TO SCALE
B.L.	BLOCK	N.S.	NOT TO SCALE
B.LKG.	BLOCKING	O.C.	ON CENTER
B.M.	BEAM	OPNG.	OPENING
B.O.	BOTTOM	OPP.	OPPOSITE
CL.G.	CLEAR	PLYWD.	PLYWOOD
C.L.R.	CLEAR	POW.	POWDER
CLR.	CLEAR	REF.	REFRIGERATOR
CONC.	CONCRETE	R.A.	ROOF DRAIN
CONT.	CONTINUOUS	R.M.	ROOM
CTR.	CENTER	SCHED.	SCHEDULE
D.	DRYER	SCHED.	SCHEDULE
D.B.	DOUBLE	SHT.	SHEET
DET.	DETAIL	SIM.	SIMILAR
DIM.	DIMETER	S.D.	SMOKE
DIM.	DIMENSION	SEC.	SPECIFICATION
D.W.	DISH WASHER	S.S.	SQUARE
D.S.	DOWN SPOUT	S.S.	STAINLESS STEEL
E' OR (E)	EXISTING	STOR.	STORAGE
E.A.	EACH	TYP.	TYPICAL
E.C.	EACH	U.O.N.A.	UNLESS OTHERWISE
E.F.	FURNACE	VERT.	VERTICAL
FIN.	FINISH	V.I.F.	VERIFY IN FIELD
F.L.	FLOOR	W.	WASHER
F.T.	FOOT OR FEET	W.	WITH
FTG.	FOOTING	W.H.	WATER HEATER
GRD.	GROUND	W.D.	WITHOUT
G.Y.P.	GYPSUM	WT.	WEIGHT
HORIZ.	HORIZONTAL	WT.	WEIGHT AT
HGT.	HEIGHT	WT.	WEIGHT AT DIAMETER
INT.	INTERIOR	WT.	POUND OF NUMBER
KIT.	KITCHEN	#	
LAV.	LAVATORY		
LT.	LIGHT		
MAX.	MAXIMUM		

### GREEN BUILDING STANDARDS CODE - RESIDENTIAL

1. BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING (CGBSC 4.506.1.1)
2. ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROVIDED TO PREVENT THE PAVAGE OF RODENTS BY CLOSING THE OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY (CGBSC 4.0406.1).
3. PROVIDE AN OPERATIONAL MAINTENANCE MANUAL OF ALL NEW EQUIPMENT INSTALLED TO THE BUILDING OCCUPANT OR THE OWNER (CGBSC 4.410.2).
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5. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, OWNER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE (CGBSC 703.1).

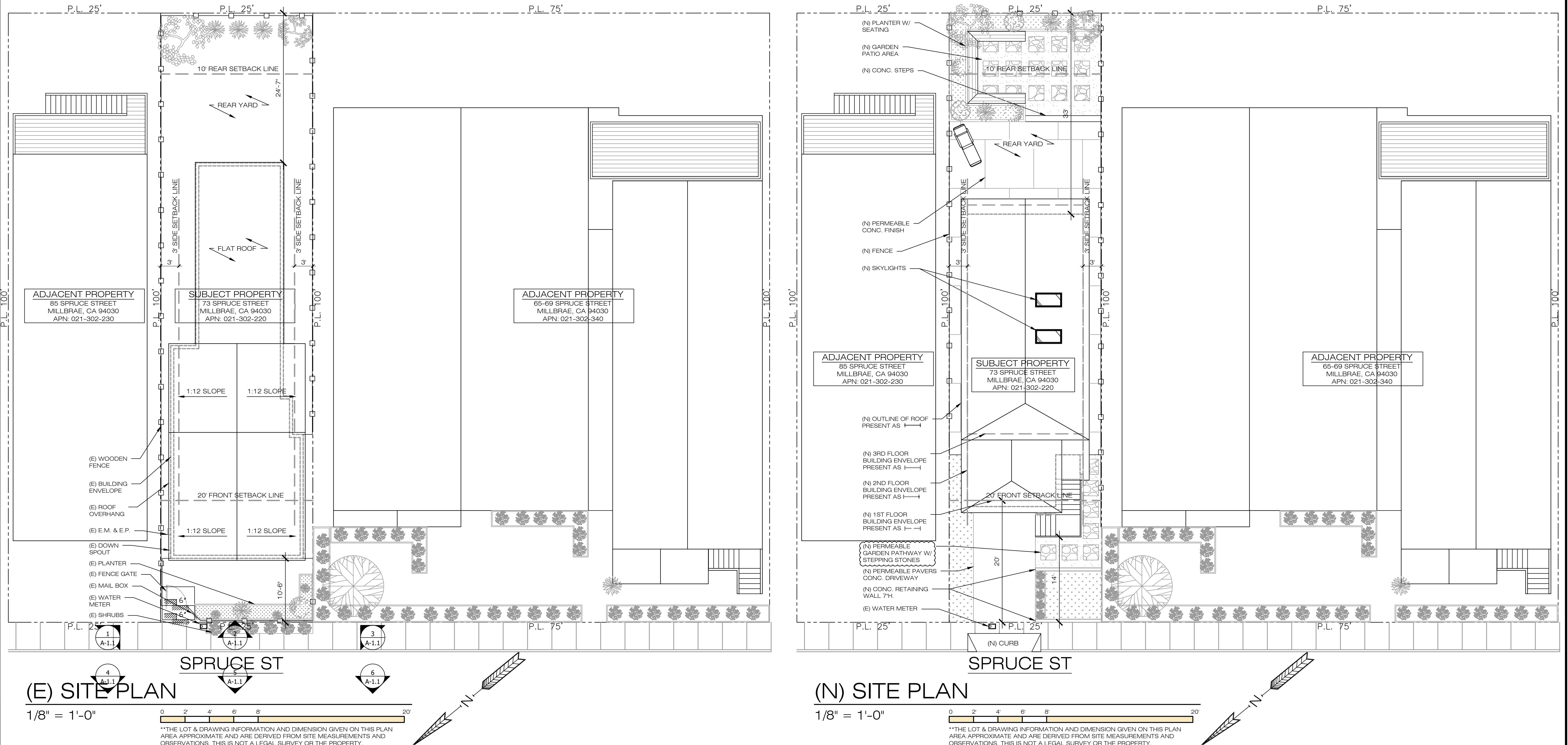
### PROJECT DIRECTORY

OWNER:	YIN KWAN TAM
73 SPRUCE STREET	MILLBRAE, CA 94030
DESIGN, ENGINEERING & T-24 ENERGY COMPLIANCE TEAM:	INNCON DESIGN
INNCON DESIGN	3626 GEARY BLVD, SUITE 203
SAN FRANCISCO, CA 94118	(415) 702-6888
BUILDER:	TBD





1 EXISTING BUILDING FRONT NTS 73 SPRUCE STREET, MILLBRAE 2 EXISTING BUILDING FRONT NTS 73 SPRUCE STREET, MILLBRAE 3 EXISTING BUILDING FRONT NTS 73 SPRUCE STREET, MILLBRAE 4 OPPOSITE STREET NTS 73 SPRUCE STREET, MILLBRAE 5 OPPOSITE STREET NTS 73 SPRUCE STREET, MILLBRAE 6 OPPOSITE STREET NTS 73 SPRUCE STREET, MILLBRAE



SHEET TITLE:  
**SITE PLAN AND  
 PHOTOGRAPH**

JOB ADDRESS:  
 73 SPRUCE STREET,  
 MILLBRAE, CA 94030

APN: 021-302-220

DESIGNED: PETER CHOW  
 DRAWN: PETER CHOW  
 SCALE: AS SHOWN  
 FILE: 2-D  
 VIEW: CONSULTANT:  
 SHEET

PROJECT NO. 200222  
 DATE: 03/02/2020  
 CHECKED: C.C.  
 REVIEWED: C.C.  
 CONSULTANT:

OF SHEETS  
**A1.1**



SIDIARY OF INNOVATIVE  
NSTRUCTION IMPLEMENT & DESIGN CO.,  
CON DESIGN ELECTRIC.

SIDIARY OF INNOVATIVE  
NSTRUCTION IMPLEMENT & DESIGN CO.,  
CON DESIGN ELECTRIC.

ess: 3626 GEARY BLVD, SUITE 203, 204  
FRANCISCO, CA 94118  
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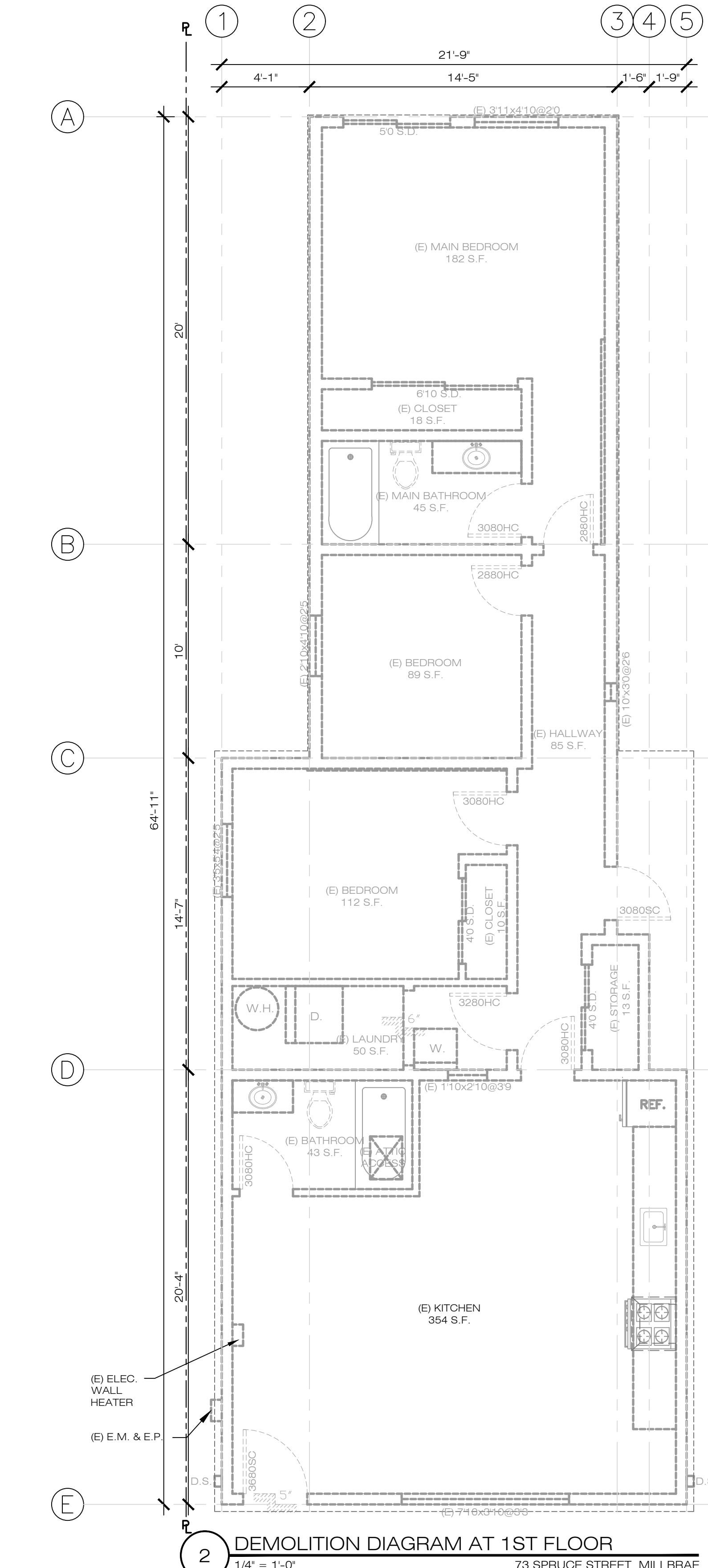
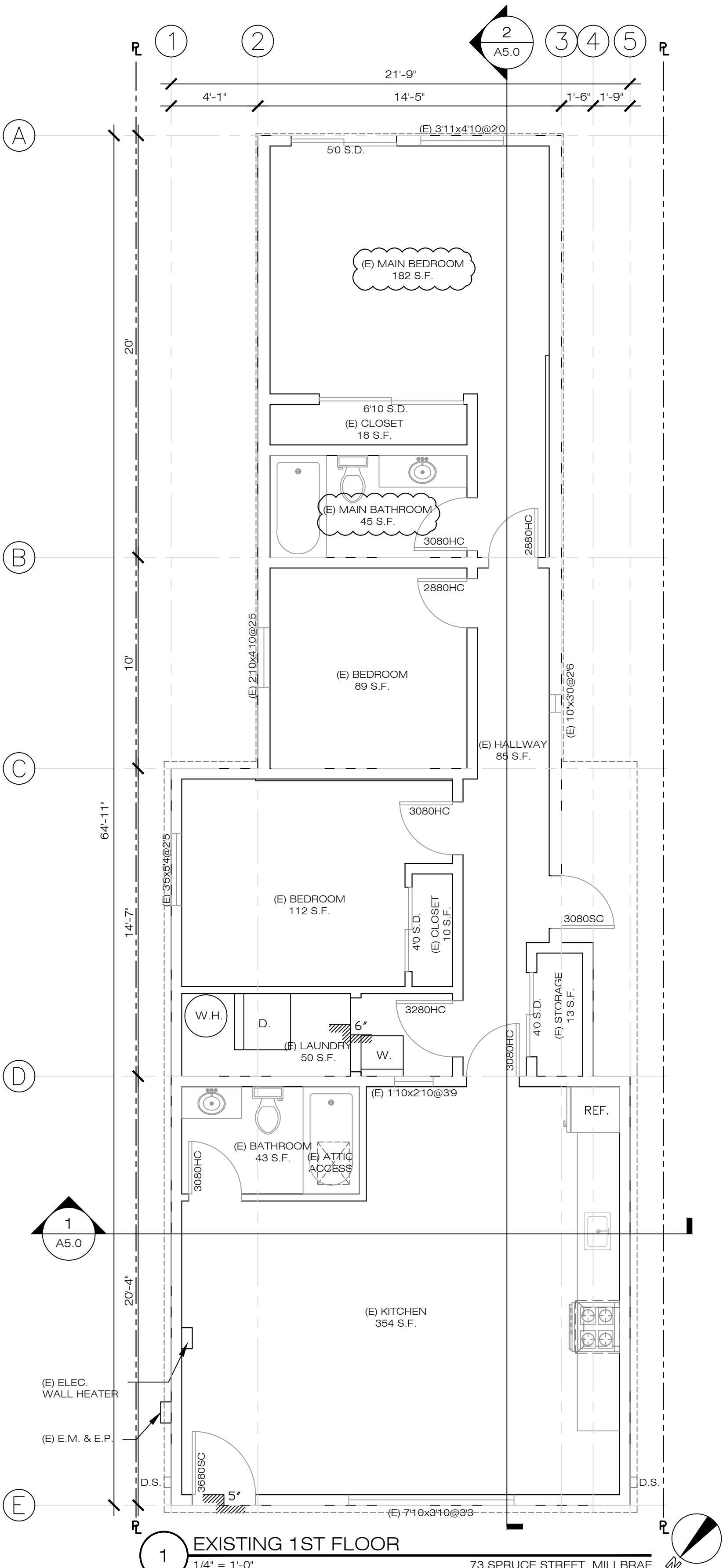
PLICANT:

SPRUCE STREET,  
LLBRAE, CA 94030

## WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- WALL TO BE LEGALIZE
- NEW WALL BEARING WALL
- NEW CONCRETE WALL
- 1 HR. RATED WALL
- 2 HR. RATED WALL
- WALL WITH R13 INSULATION

 KEY NOTES



# MEET TITLE: LOOR PLAN AND EMOLITION IAGRAM

B ADDRESS:  
**SPRUCE STREET,  
LIBRAF, CA 94030**

PN: 021-302-220

0.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

GNED: ER CHOW	PROJECT NO. 200222
WN: ER CHOW	DATE: 03/02/2020
LE: SHOWN	CHECKED: C.C.
	REVIEWED: C.C.
IT	CONSULTANT:

# A2.0

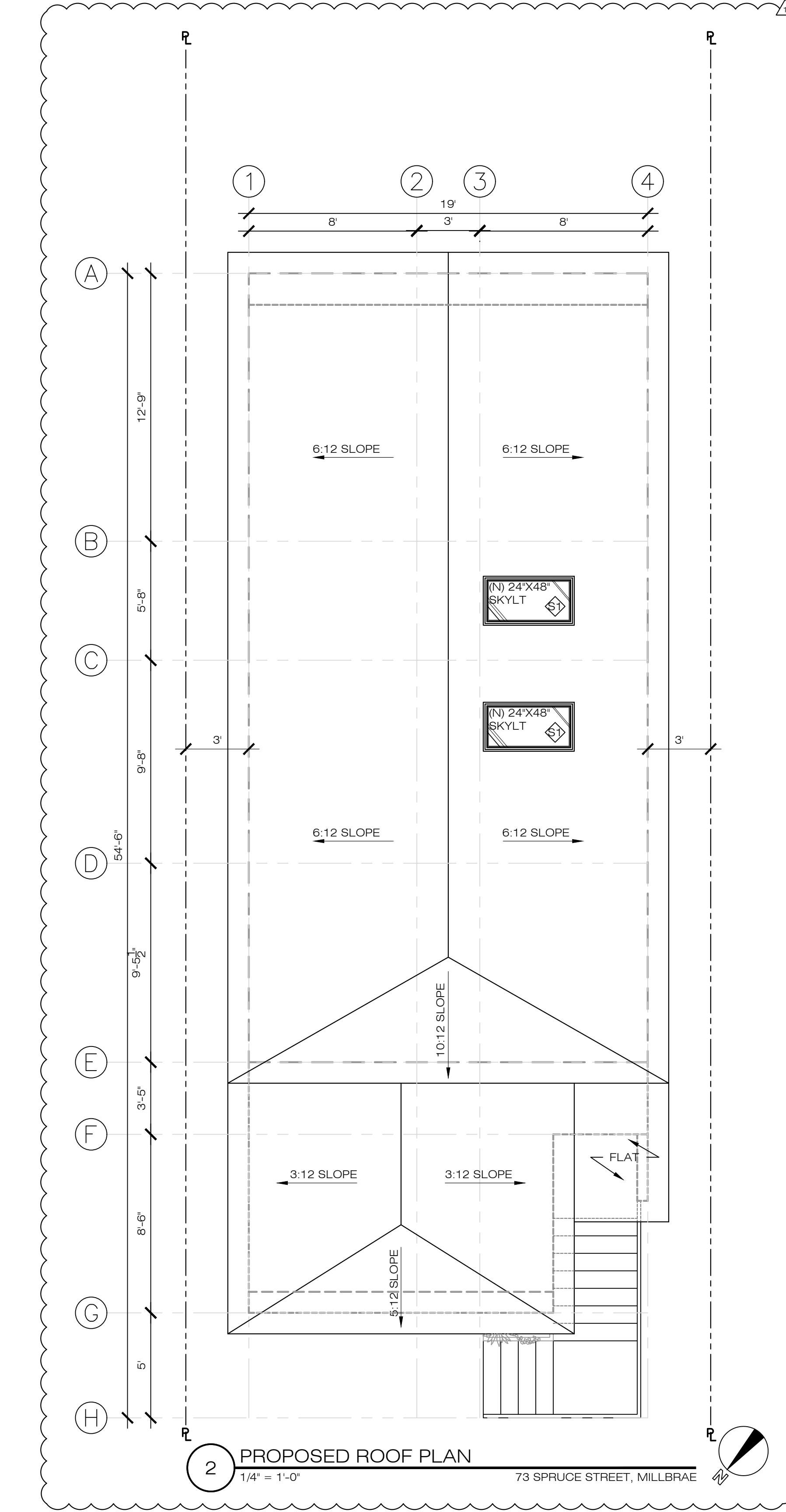
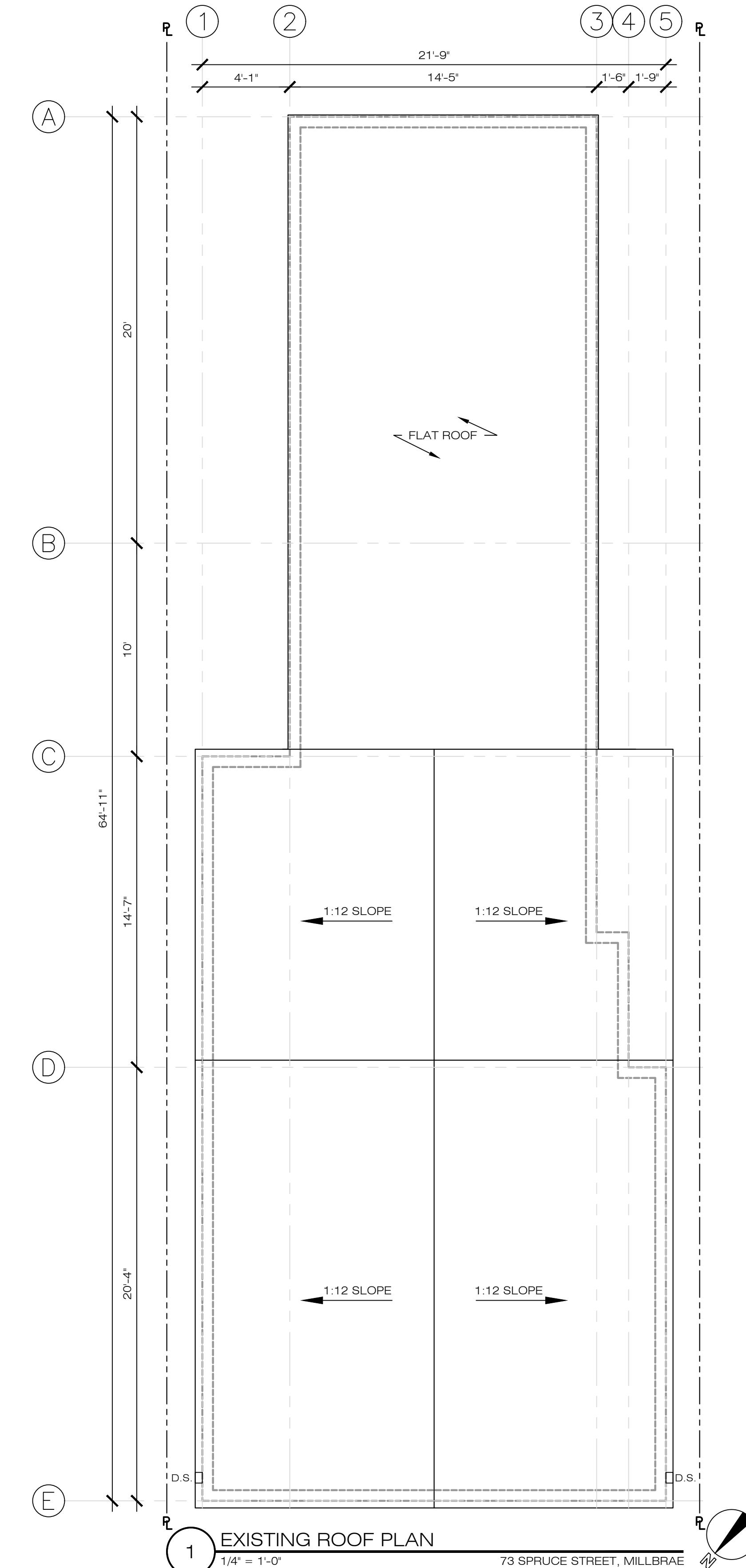
## WORK &amp; KEY NOTES

- THE SHOWER AND TUB/SHOWER WALLS TO BE SMOOTH, HARD, NON-ABSORBENT SURFACE (E.G., CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT BOARD, FIBER CEMENT OR GLASS MATT OVER A MOISTURE BARRIER AND WITH CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPTION: INSTALLATION OF MOLDED ONE PIECE ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD.
- A 30" SIDE TO SIDE CLR. AND A MIN. 24" IN FRONT OF THE TOILET. NEW TOILET MUST BE WATER CONSERVING 1.28 GAL.
- CONTROL VALVES AND SHOWER STALL HEADS SHALL BE LOCATED ON SIDEWALL OF SHOWER COMPARTMENTS.
- NO PLASTIC PLUMBING PIPE ALLOWED FOR DOMESTIC WATER SUPPLY AND SANITARY WASTE SYSTEM.
- BATHROOM VENTILATION FAN WITH MINIMUM 50 CFM AND MAXIMUM 1 SCONE SOUND RATING. BATH FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM. THE VENT SHALL BE 3 FEET AWAY FROM THE PROPERTY LINE AND 3 FEET AWAY FROM ANY OPENING INTO THE BUILDING.
- LIGHTING IN BATHROOMS MUST HAVE MINIMUM OF ONE HIGH EFFICACY LIGHT FIXTURE AND MUST BE CONTROLLED BY A OCCUPANCY SENSOR SWITCH.
- PRESSURE BALANCED OR THERMOSTATIC MIXING VALVE REQUIRED FOR SHOWER AND SHOWER TUB COMBINATIONS, MAXIMUM MIXING WATER TEMP OF 120F.
- MAXIMUM DROP OF 7.75 AT DOOR THRESHOLD
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS OLDER THAN 10 YEARS OLD MUST BE REPLACED WITH NEW ALARMS.
- PROVIDE MINIMUM WINDOW AREA OF 8% OF THE FLOOR AREA FOR NATURAL LIGHT AND MINIMUM WINDOW OPENING AREA OF 4% OF THE FLOOR AREA FOR VENTILATION.
- PROVIDE DUCT AND REGISTER FROM HEATING FURNACE TO MAINTAIN MINIMUM TEMPERATURE OF 68 DEGREES AT 3 FEET ABOVE THE FLOOR.
- CLOTHES DRYER MOISTURE EXHAUST DUCT (MIN. 4") TO THE OUTSIDE AND EQUIP WITH BACK-DRAFT DAMPER. EXHAUST DUCT LENGTH IS LIMITED TO 14FT, WITH 2 ELBOWS. OR PROVIDE BOOSTER FAN OR DRYER LISTED FOR REQUIRE EXHAUST DUCT LENGTH.
- ALL ELECTRICAL COUNTER RECEPTACLES IN KITCHEN AREA SHALL BE GFCI PROTECTED. (CEC 210.52(A)(6)). RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- OUTLETS ARE REQUIRED WITHIN 24" OR ANY LOCATION ALONG THE COUNTERTOP. (CEC 210.52(C)(1)).
- (RECEPTACLE OUTLET LOCATION) RECEPTACLE OUTLETS SHALL BE LOCATED ON OR ABOVE THE COUNTERTOP, BUT NOT MORE THAN 20 INCHES FROM THE COUNTERTOP SURFACE, UNLESS THE RECEPTACLE OUTLET ASSEMBLY IS LISTED FOR THE APPLICATION SHALL BE PERMITTED TO BE INSTALLED IN THE COUNTERTOP. RECEPTACLES SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS AND SHALL NOT BE LOCATED ON THE SIDES OF CABINETS. (406.5(6))
- (WALL COUNTER SPACE) A RECEPTACLE OUTLET MUST BE INSTALLED FOR EVERY KITCHEN AREA COUNTER WALL SPACE 12" INCHES OR WIDER. RECEPTACLES MUST BE INSTALLED SO THAT NO POINT ALONG THE COUNTER WALL SPACE IS MORE THAN 24" INCHES (2 FEET), MEASURED HORIZONTALLY, FROM A RECEPTACLE OUTLET.
- KITCHEN COUNTERTOP RECEPTACLES, TWO CIRCUITS REQUIRED. 125V, 20 AMPERE RECEPTACLES USED FOR COUNTERTOP SURFACE APPLIANCE IN A DWELLING UNIT. KITCHEN MUST BE SUPPLIED BY AT LEAST TWO 20 AMPERE CIRCUITS (210-11(C)(1) AND 220-16(a)).
- (SEPARATE SPACES) WHEN BREAKS OCCUR IN COUNTERTOP SPACES (RANGES, REFRIGERATORS, SINK, ETC.), EACH COUNTERTOP SURFACE IS CONSIDERED A SEPARATE COUNTER FOR DETERMINING RECEPTACLE PLACEMENT. (210.52(C)(1)) IF A RANGE, COUNTER-MOUNTED COOKING UNIT, OR SINK IS INSTALLED IN AN ISLAND OR A PENINSULAR COUNTERTOP AND THE DEPTH OF THE COUNTERTOP BEHIND THE RANGE, COUNTER-MOUNTED COOKING UNIT, OR SINK IS LESS THAN 12 INCHES, THE RANGE, COUNTER-MOUNTED COOKING UNIT, OR SINK SHALL BE CONSIDERED TO DIVIDE THE COUNTERTOP SPACE INTO TWO SEPARATE COUNTERTOP SPACES. EACH SEPARATE COUNTERTOP SPACE SHALL COMPLY WITH THE APPLICABLE REQUIREMENT IN 210.52(C).
- (ISLAND COUNTERTOP SPACE) THIS SECTION MANDATES ONLY ONE RECEPTACLE OUTLET TO BE INSTALLED AT EACH ISLAND COUNTERTOP THAT HAS A LONG DIMENSION OF 24" INCHES OR GREATER, AND SHORT DIMENSION OF 12" INCHES OR GREATER. RECEPTACLE MAXIMUM OF 12' INCHES BELOW ISLAND OR PENINSULAR COUNTERTOPS.
- THE KITCHEN FANS SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM AND BE DUCTED TO THE EXTERIOR.
- WATER HEATER SHALL BE INSTALLED AT LEAST 18" ABOVE THE GARAGE FLOOR. SEISMICALLY STRAP THE WATER HEATER WITH A MINIMUM OF TWO STRAPS (ONE LOCATED ONE THIRD DOWN FROM THE TOP OF THE TANK AND THE OTHER LOCATED 4" ABOVE THE CONTROLS). CPC507.2
- A  $\frac{3}{4}$ " x 24 GAUGE STEEL SEISMIC STRAP TO WATER HEATER WITH 18" HEIGHT PLATFORM, AND SHALL BE WRAPPED W/ R-12 INSULATION, UNLESS EFFICIENCY RATED AT 58% OR BETTER
- MINIMUM 1" INSULATION ON FIRST 5 FOOT LENGTH OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK
- MIN. 26 GA. GALV. SHEET METAL HEATING SUPPLY DUCTS AT GARAGE. BOTTOM OF HEATING DUCT OR FURRING SHALL NOT BE LOWER THAN 7'-0"
- DUCT AND PLENUM SHALL BE SEALED WITH 'MASTIC GLUE AND MASTIC PLUS MESH TAPE'. DUCT SHALL BE WRAPPED WITH R-6 INSULATION.
- COMBUSTION AIR OPENINGS FROM OUTSIDE FOR WATER HEATER & FURNACE. TERMINATE FLUES 4 FEET FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BUILDING WITHIN 10'-0"
- MINIMUM  $\frac{5}{8}$ " TYPE-X GYPSUM BOARD UNDER THE INTERIOR STAIRWAY.
- MINIMUM  $\frac{5}{8}$ " TYPE-X GYPSUM BOARD AND R-19 INSULATION ON GARAGE CEILING & STORAGE CEILING AND MINIMUM OF  $\frac{1}{2}$ " GYPSUM BOARD FOR WALLS
- ALL ELECTRICAL RECEPTACLES IN GARAGE SHALL BE GFCI PROTECTED.
- DOOR LISTED 45-MINUTE FIRE RESISTIVE DOOR AND FRAME ASSEMBLY WITH A 1 $\frac{3}{4}$ " SELF CLOSING, SELF-LATCHING DEVICE. ONE HALF OF THE COMMON WALL BETWEEN THE FOYER AND THE GARAGE SHALL BE OPEN AND UNOBSTRUCTED (CBC 715.4 & TABLE 715.4)
- INTERIOR STAIRWAYS SHALL HAVE A MINIMUM 80" HEADWAY MEASURED FROM THE TREAD NOISING, A MAXIMUM RISE OF 7-3/4" AND MINIMUM 10" TREAD WIDTH. THE CLEAR SPACE AT OPEN RISERS SHALL NOT ALLOW THE PASSAGE OF A 4" SPHERE AND TRIANGULAR OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 6" SPHERE. PROVIDE A MINIMUM 36" X 36" LANDING AT TOP AND BOTTOM OF STAIRWAY.
- GRIPPABLE HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF ALL STAIRS WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOISING, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38".

NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021
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NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED:	PROJECT NO.
PETER CHOW	200222
DRAINED:	DATE:
PETER CHOW	03/02/2020
SCALE:	CHECKED:
AS SHOWN	C.C.
FILE:	REVIEWED:
	C.C.
VIEW:	CONSULTANT:
2-D	
SHEET	





SIDIARY OF INNOVATIVE  
STRUCTION IMPLEMENT & DESIGN CO.,  
CON DESIGN ELECTRIC.

ess: 3626 GEARY BLVD, SUITE 203, 204  
FRANCISCO, CA 94118  
415.702.6889  
I: INCONNDESIGN@GMAIL.COM

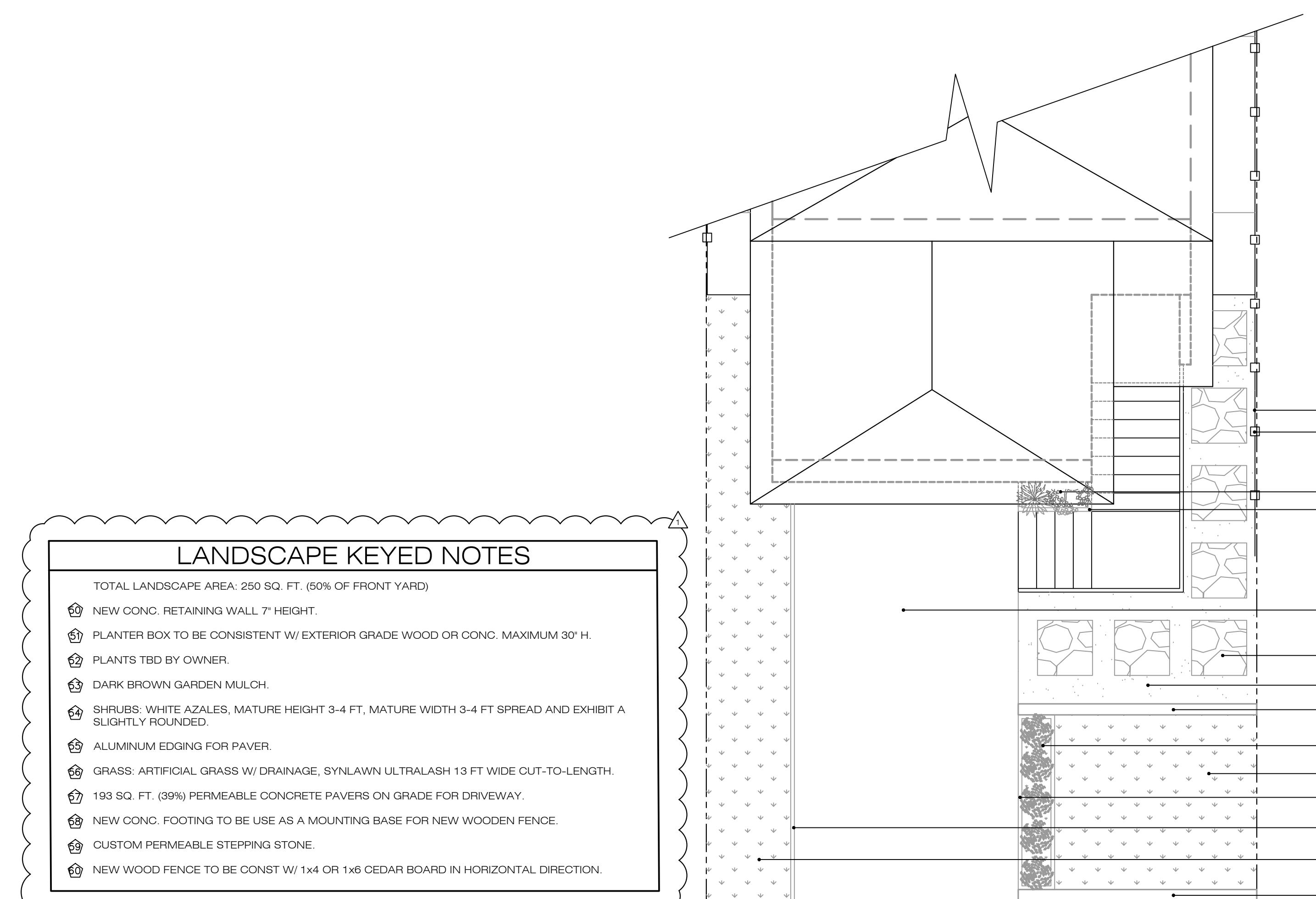
PLICANT:  
N KWAN TAM

SPRUCE STREET,  
LLBRAE, CA 94030

## HEET TITLE:

B ADDRESS:  
111 SPRUCE STREET,  
LURRAE, CA 94030

PN: 021-302-220

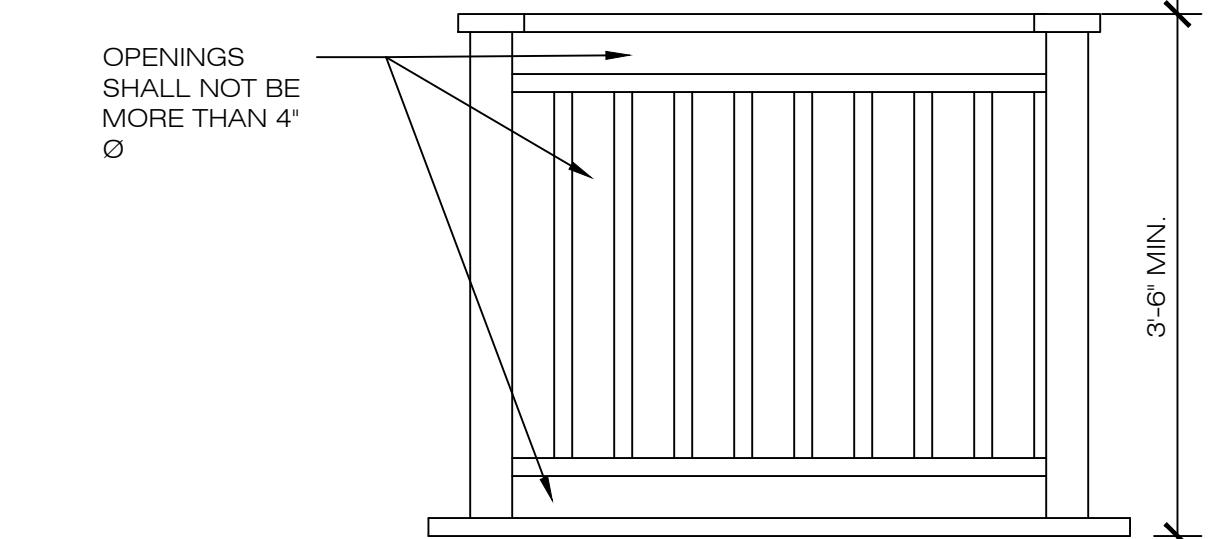


1 PROPOSED LANDSCAPE PLAN (DRIVEWAY)

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REVISIONS/SUBMISSIONS	
06/28/2021	
07/27/2021	
GNED: ER CHOW	PROJECT NO. 200222
NN: ER CHOW	DATE: 03/02/2020
LE: SHOWN	CHECKED: C.C.
	REVIEWED: C.C.
	CONSULTANT:

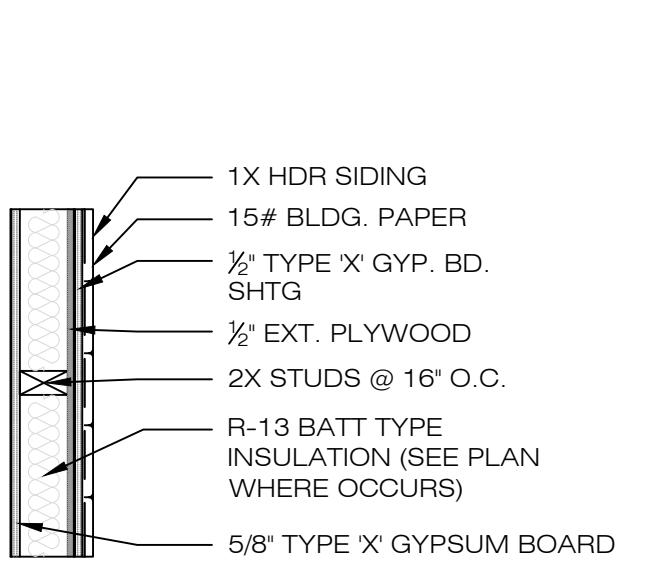
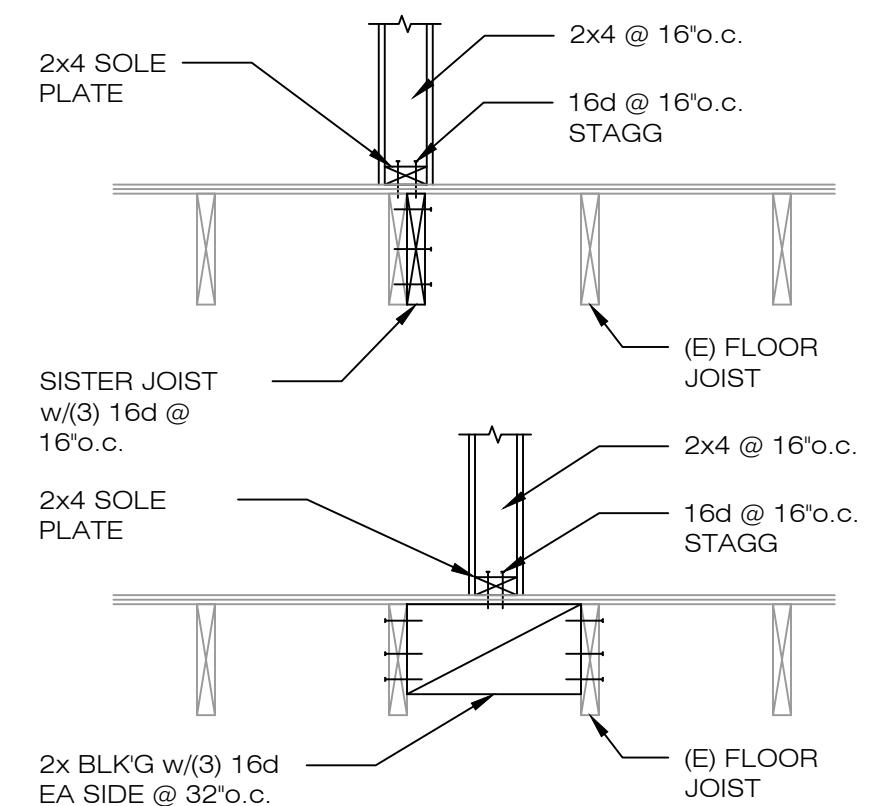
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NOTE:  
 1) GUARDRAIL SHALL COMPLY WITH CBC 1015.  
 2) GUARDRAIL SHALL BE PROVIDED ALONG OPEN SIDED WALKING SURFACES THAT ARE MORE THAN 30' MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 26' HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.  
 3) GUARD HEIGHT SHALL NOT BE LESS THAN 42".  
 4) GUARD SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4" Ø.  
 5) IF GLASSED IS USED, IT SHALL BE OF LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS PER CBC 2407 AND SHALL HAVE A MINIMUM OF 3 GLASS BALUSTERS

**GUARD RAIL DETAIL**
**1 WINDOW DETAIL - SIDING**
**2**

NO SCALE



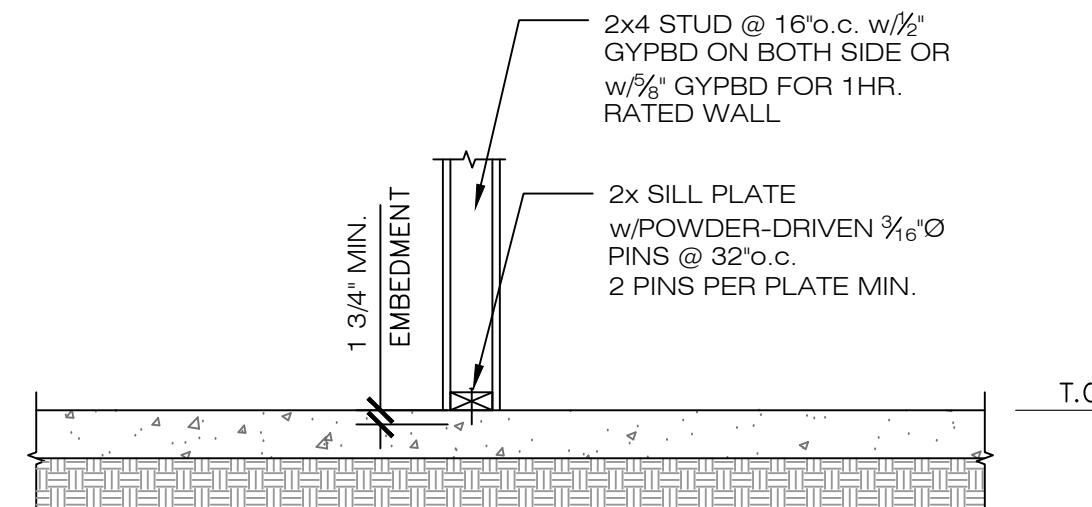
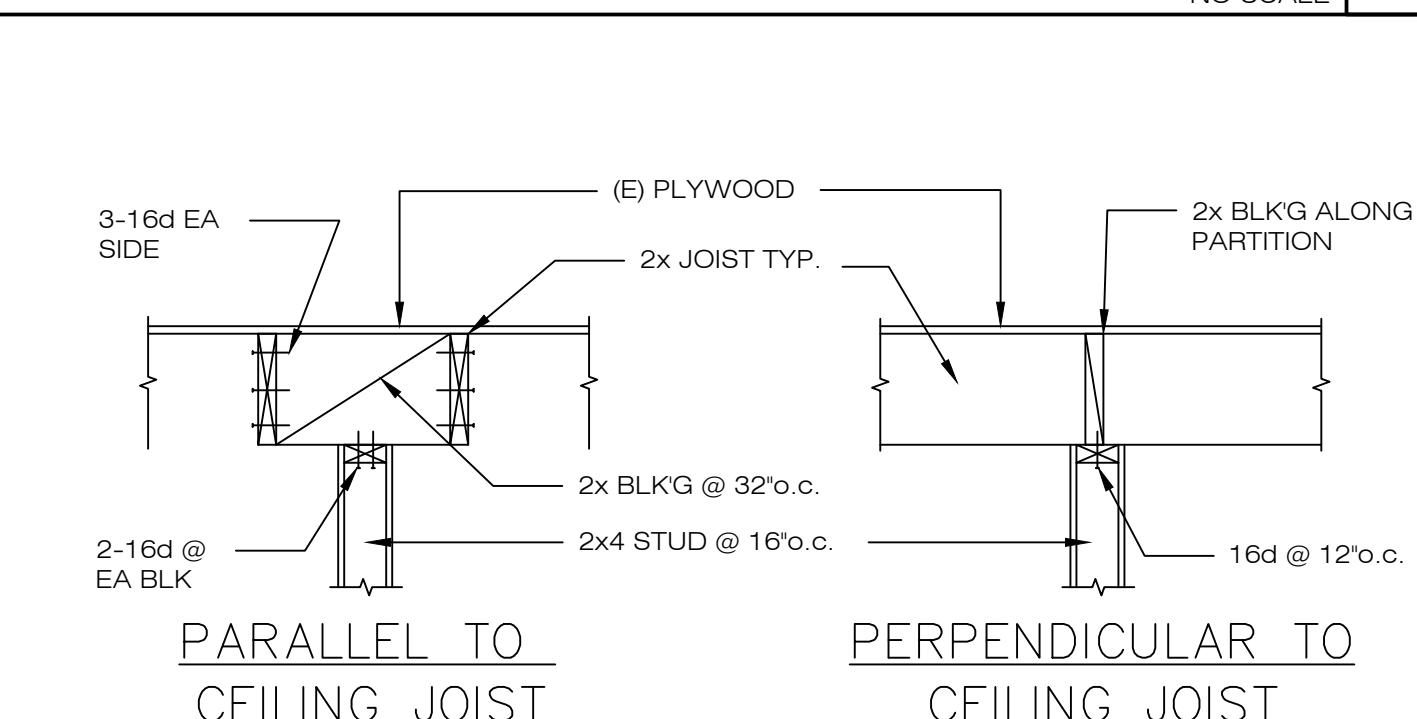
1. PROVIDE FLASHING SYSTEM BY DUPONT TYVEK OR EQ., U.O.N.
2. INSTALL ALL WINDOWS & FLASHING PER MFR. INSTRUCTIONS
3. VERIFY EGRESS SIZES W/ MANUFACTURER.

**PARTITION TO FLOOR JOIST**

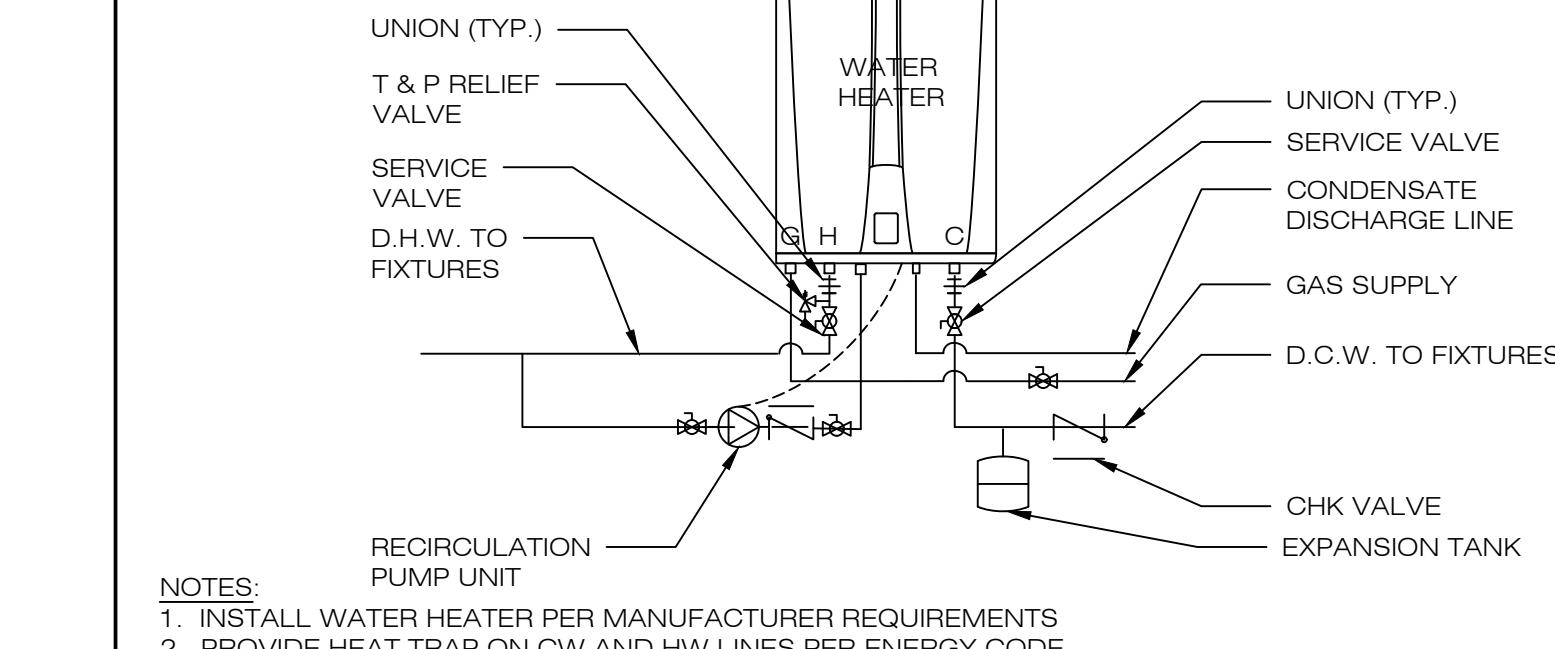
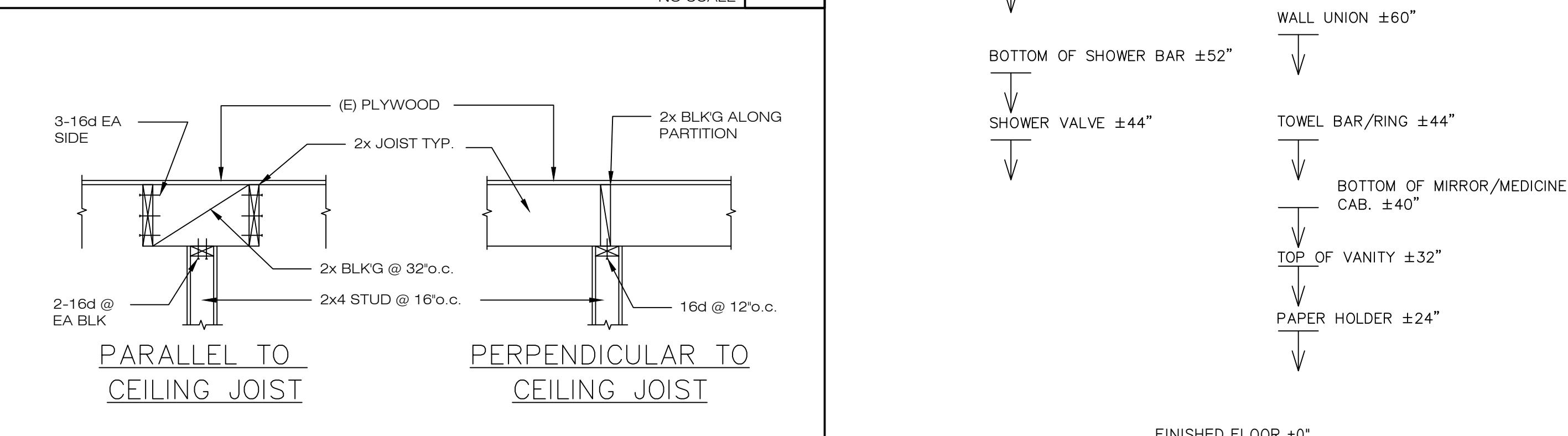
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**3 EXTERIOR WALL DETAIL (SIDING)**
**4 INTERIOR WALL DETAIL**
**5 1-HR WALL DETAILS**
**6**

NO SCALE


**PARTITION TO SLAB**
**7**

**PARTITION TO CEILING**
**8**
**TYP. BATHROOM FIXTURE HT.**
**9 WATER HEATER DETAIL (TANKLESS)**
**10 BATHROOM WALL DETAIL**
**11**

NO SCALE



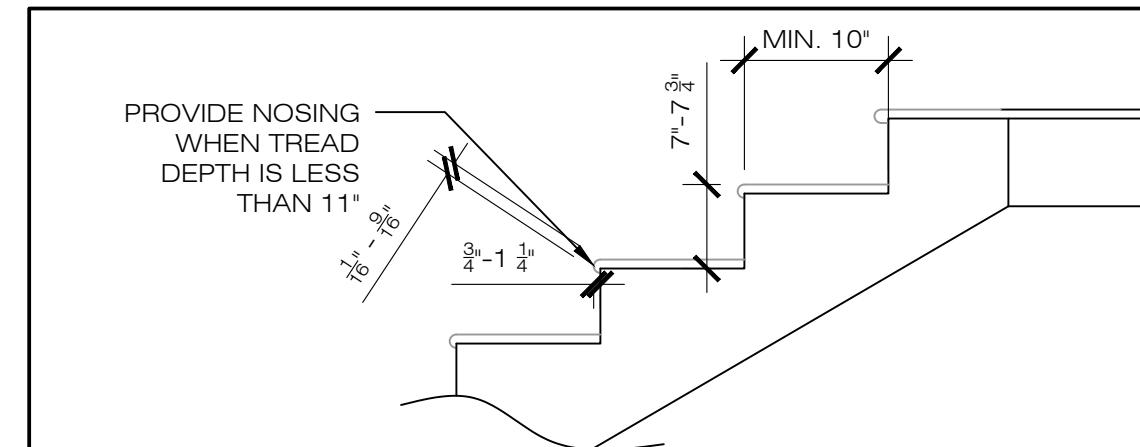
NOTES:  
 1. INSTALL WATER HEATER PER MANUFACTURER REQUIREMENTS  
 2. PROVIDE HEAT TRAP ON CW AND HW LINES PER ENERGY CODE

1. IN PAINTED AREAS, USE A JOINT TREATMENT SYSTEM AND SEALER FOR FINISHING CEMENTITIOUS BOARD TO CEMENTITIOUS BOARD AND CEMENTITIOUS BOARD TO GYPSUM BOARD.
2. IN TILED AREAS, TREAT CEMENTITIOUS BOARD TO CEMENTITIOUS BOARD AND CEMENTITIOUS BOARD TO GYPSUM BOARD JOINTS BY EMBEDDING CEMENTITIOUS TAPE IN TILE SETTING MATERIAL.
3. 1/4" SPACE.
4. SEE FLOOR PLAN / INTERIOR ELEVATION FOR WALL HEIGHT.
5. CERAMIC TILE.
6. CEMENTITIOUS TAPE.
7. SETTING MATERIAL.
8. WOOD SILL.
9. 1/2" GYPSUM BOARD.
10. 2X WOOD STUDS @ 16" O.C.
11. SUPPORT FRAMING FOR ATTACHMENT OF FIXTURES.
12. 1/2" INTERIOR CEMENTITIOUS BOARD @ BATH AREA
13. 1/2" GYPSUM PANEL.

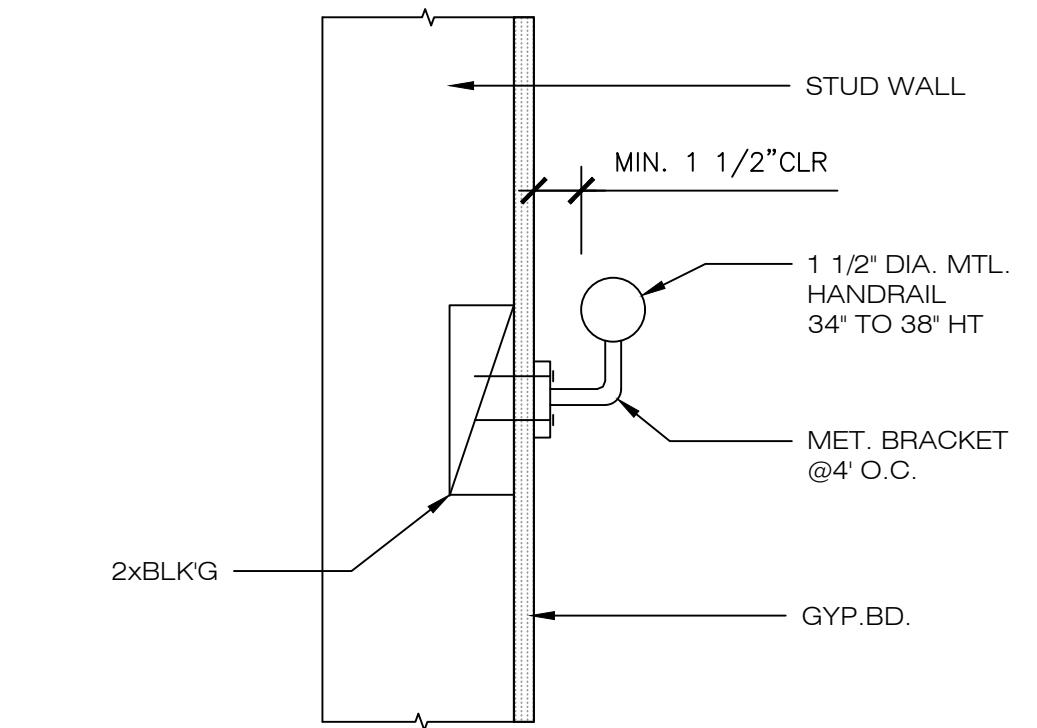
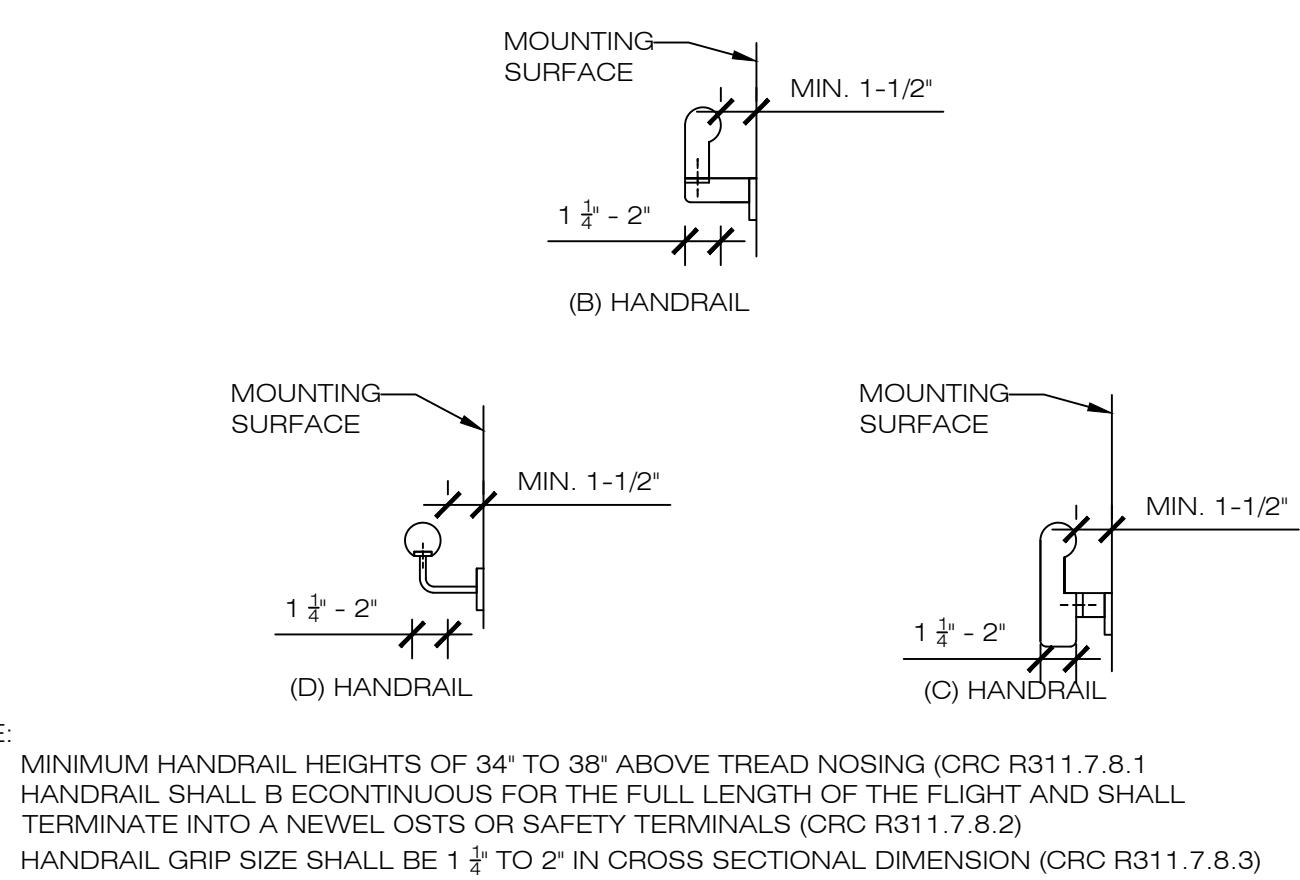
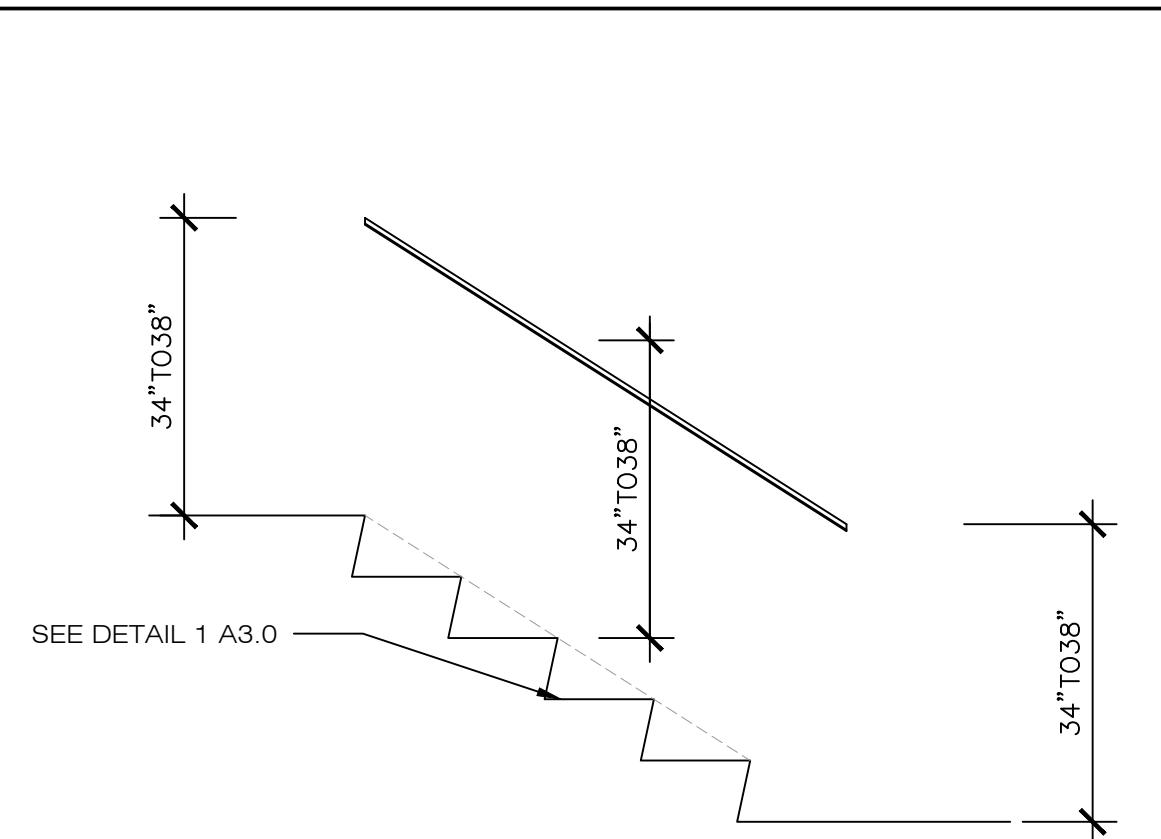
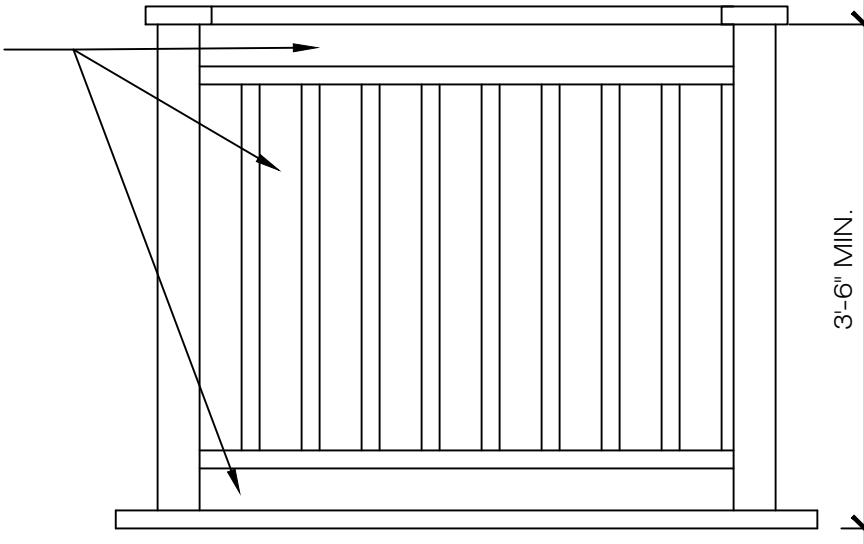
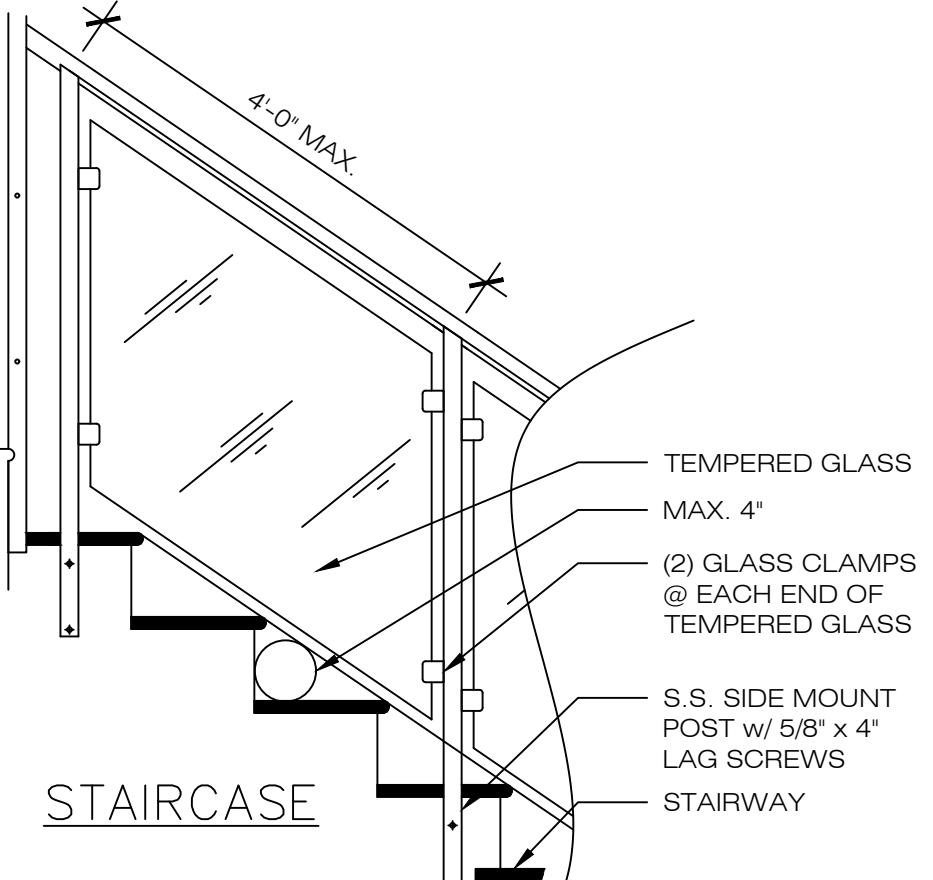
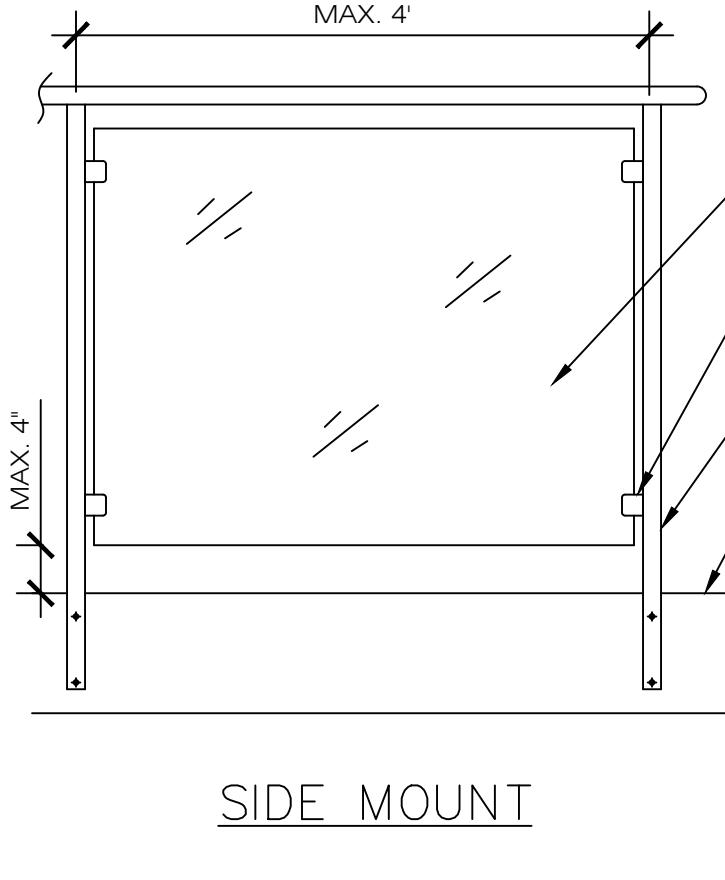
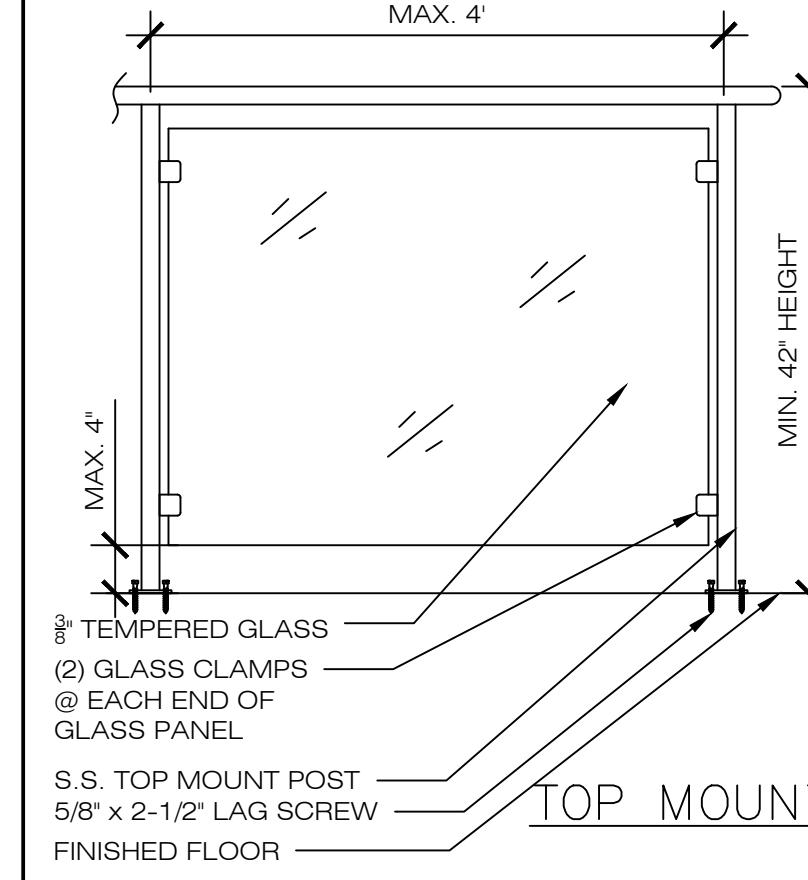
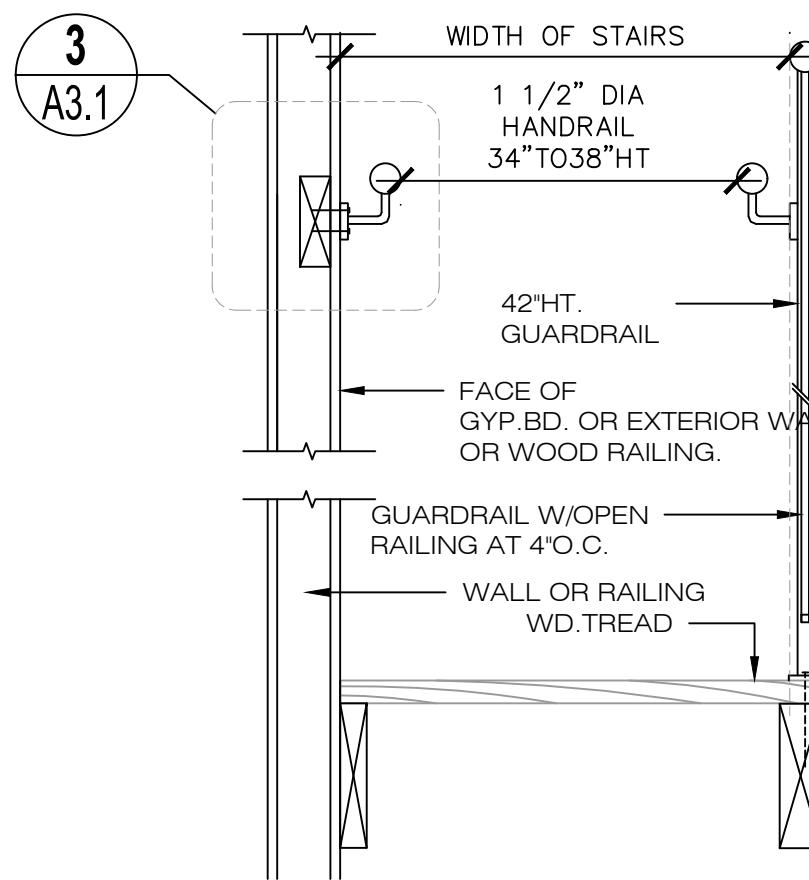
NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED: PETER CHOW	PROJECT NO. 20022
DRAWN: PETER CHOW	DATE: 07/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE: 2-D	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT: A3.0

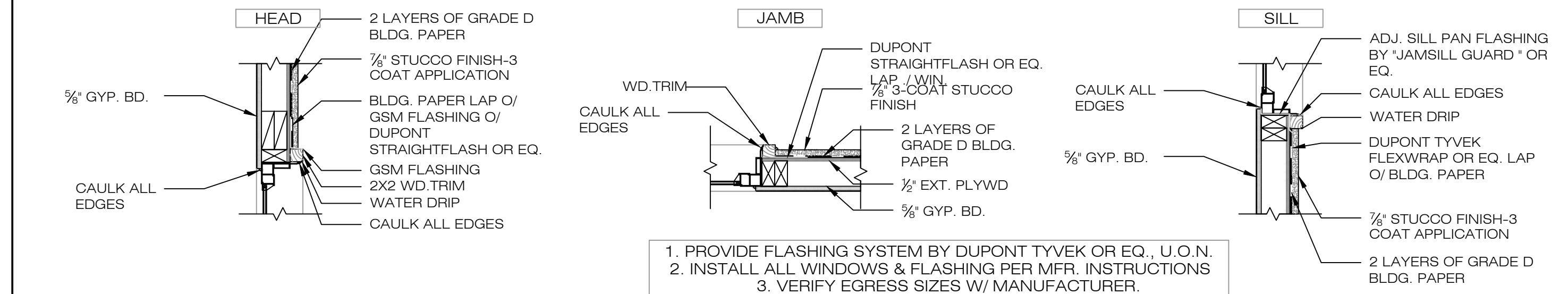
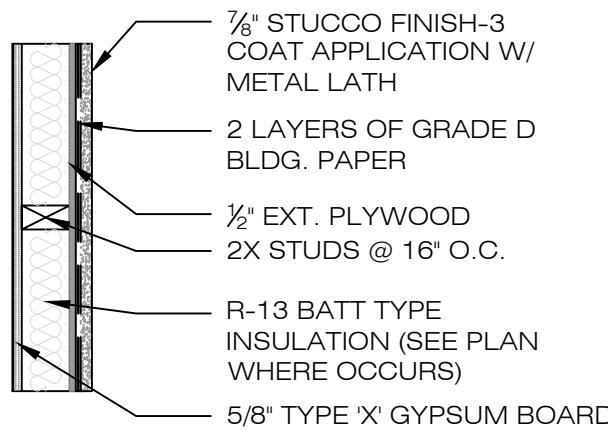
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NOTE:  
 1) STAIRWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBC 1011  
 2) THE RISE SHALL BE FROM A MIN. OF 7" TO A MAX. OF 7 3/4" AND THE MIN. TREAD DEPTH SHALL BE 10".  
 A NOSING PROJECTION NOT LESS THAN 3/8" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WITH TREAD DEPTH LESS THAN 11".  
 3) NOSING SHALL HAVE A CURVATURE OR BEVEL NOT LESS THAN 1/8" BUT NOT MORE THAN 1/4" FROM THE FOREMOST PROJECT OF THE TREAD.  
 4) STAIR TREADS AND RISERS SHALL BE UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8".  
 5) SEE HANDRAIL DETAIL 4/A3.0  
 6) IF GLASSED IS USED, IT SHALL BE OF LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS PER CBC 2407 AND SHALL HAVE A MINIMUM OF 3 GLASS BALUSTERS


**STAIRWAY DETAIL**
**1 STAIR & HANDRAIL**


NOTE: GUARDRAIL FINISH MATERIAL CAN BE SUBSTITUTED WITH WOOD. GUARDRAIL OPENINGS SHALL NOT ALLOW A 4" SPHERE PASS THRU. THE GUARDRAIL SHALL BE A MIN. HEIGHT OF 42".

**STAIR & RAIL**
**5 RAILING DETAIL**

**EXTERIOR STUCCO WALL DETAIL**
**7 WINDOW DETAIL - STUCCO**
**8**

 JOB ADDRESS:  
 73 SPRUCE STREET,  
 MILLBRAE, CA 94030

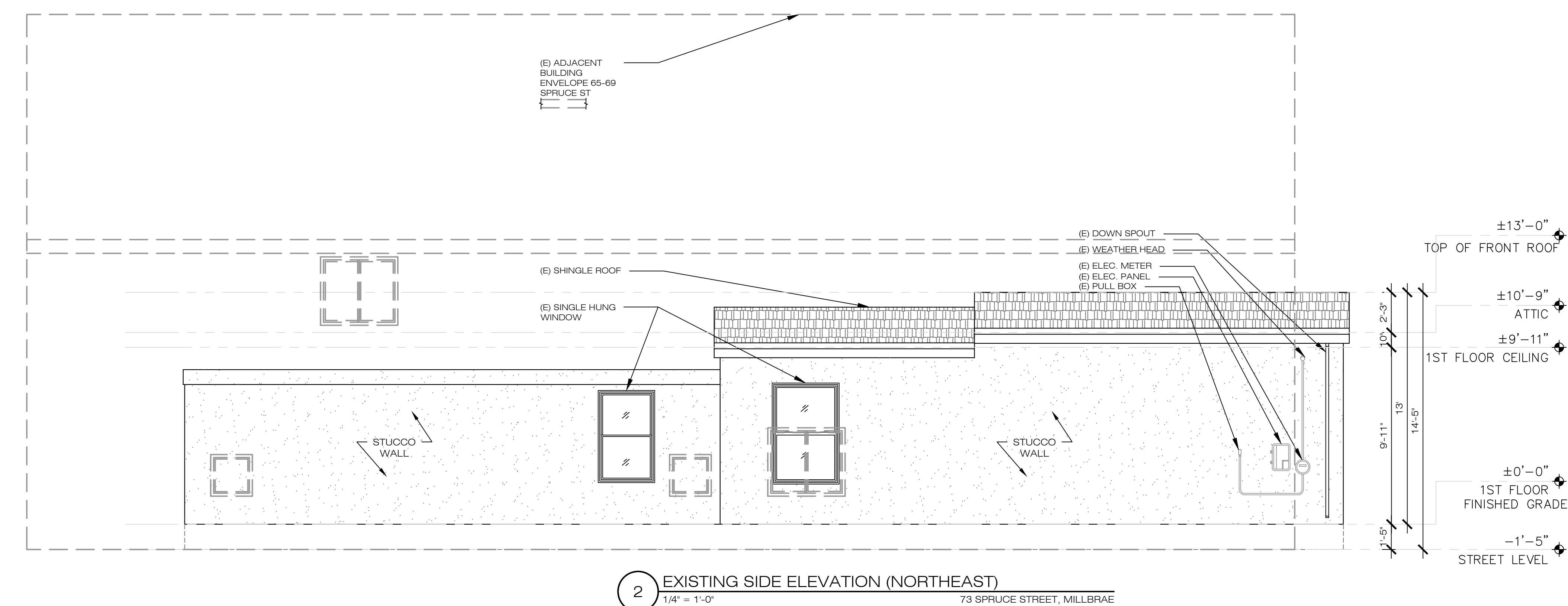
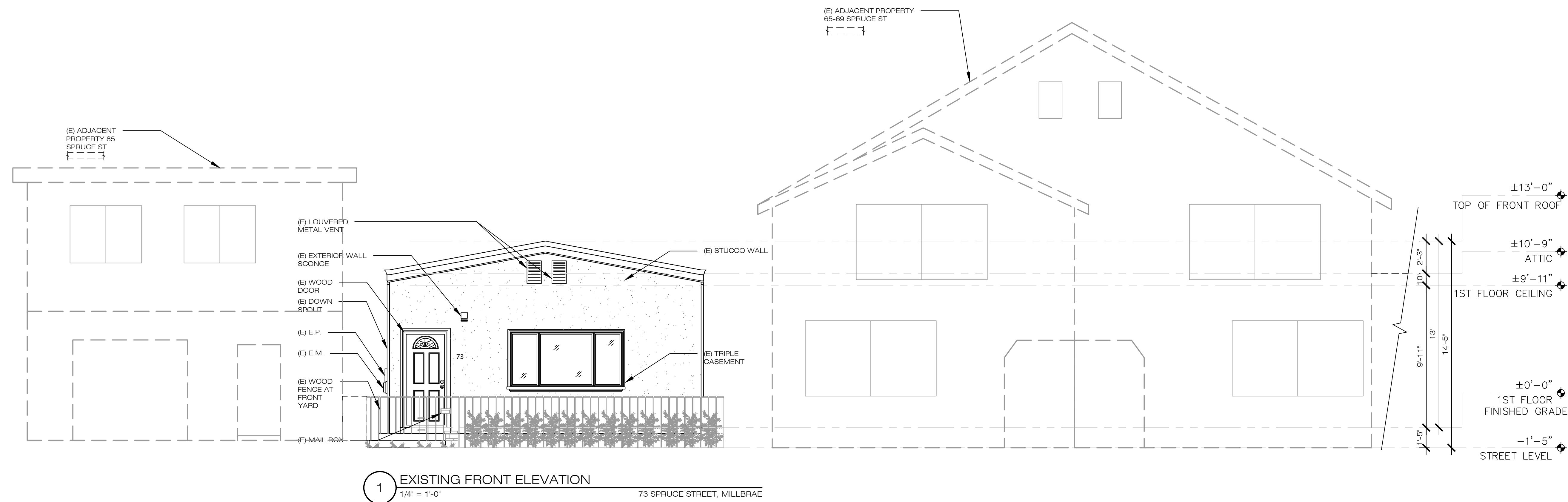
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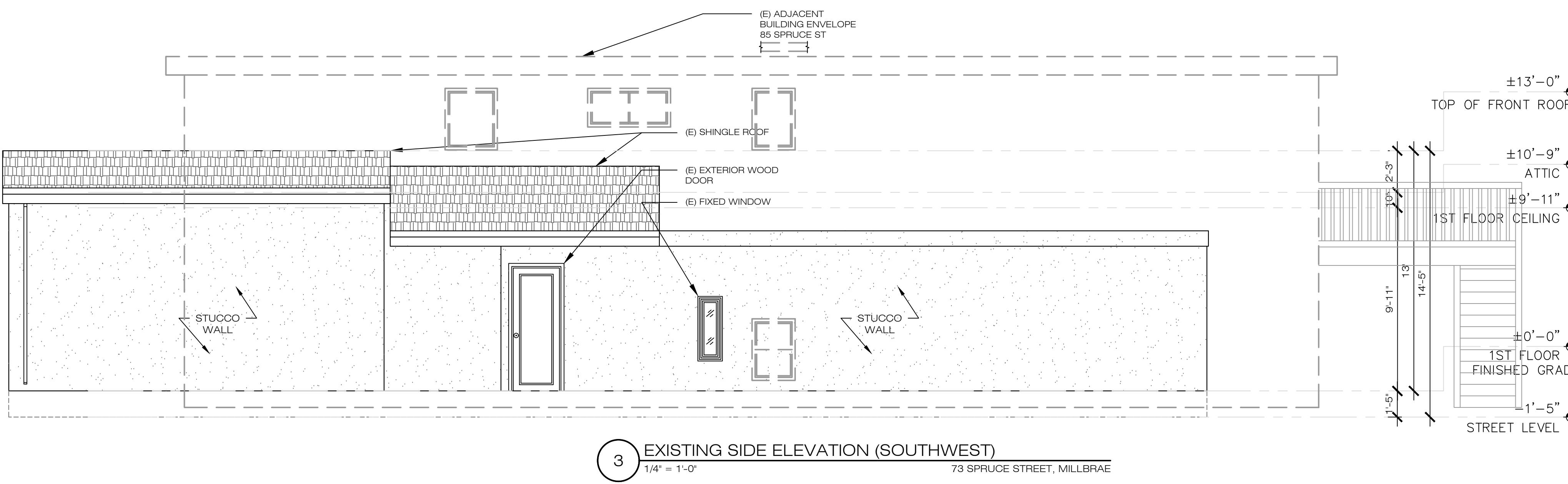
NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED:	PROJECT NO.
PETER CHOW	200222
DRAWN:	DATE:
PETER CHOW	03/02/2020
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AS SHOWN	C.C.
FILE:	REVIEWED:
VIEW:	C.C.
2-D	CONSULTANT:

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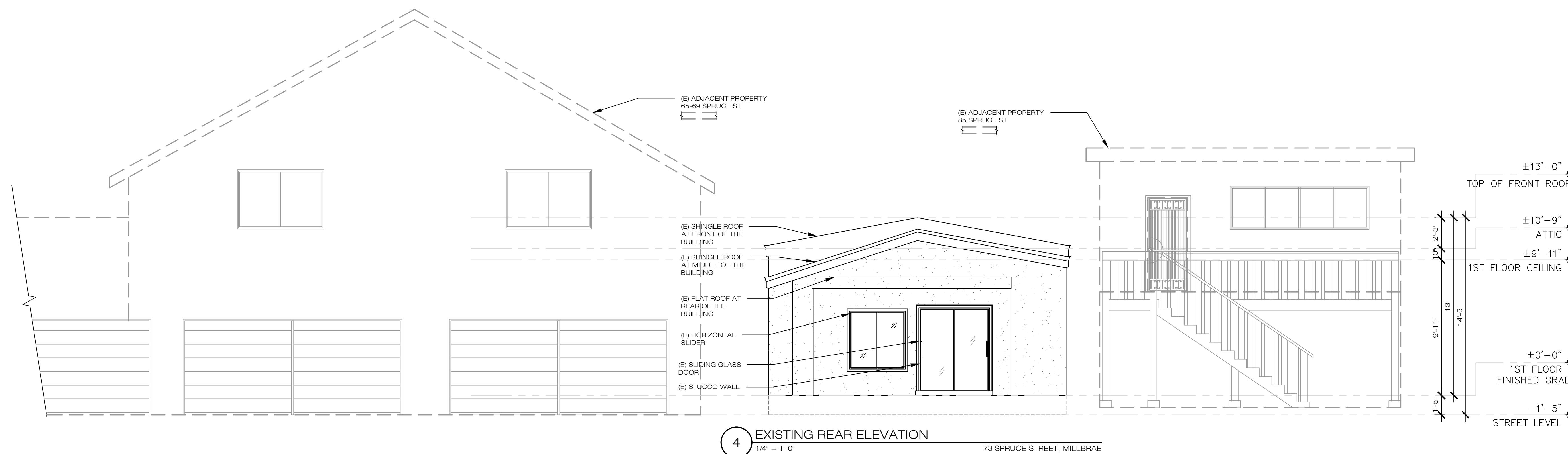




NO.	REVISIONS/SUBMISSIONS
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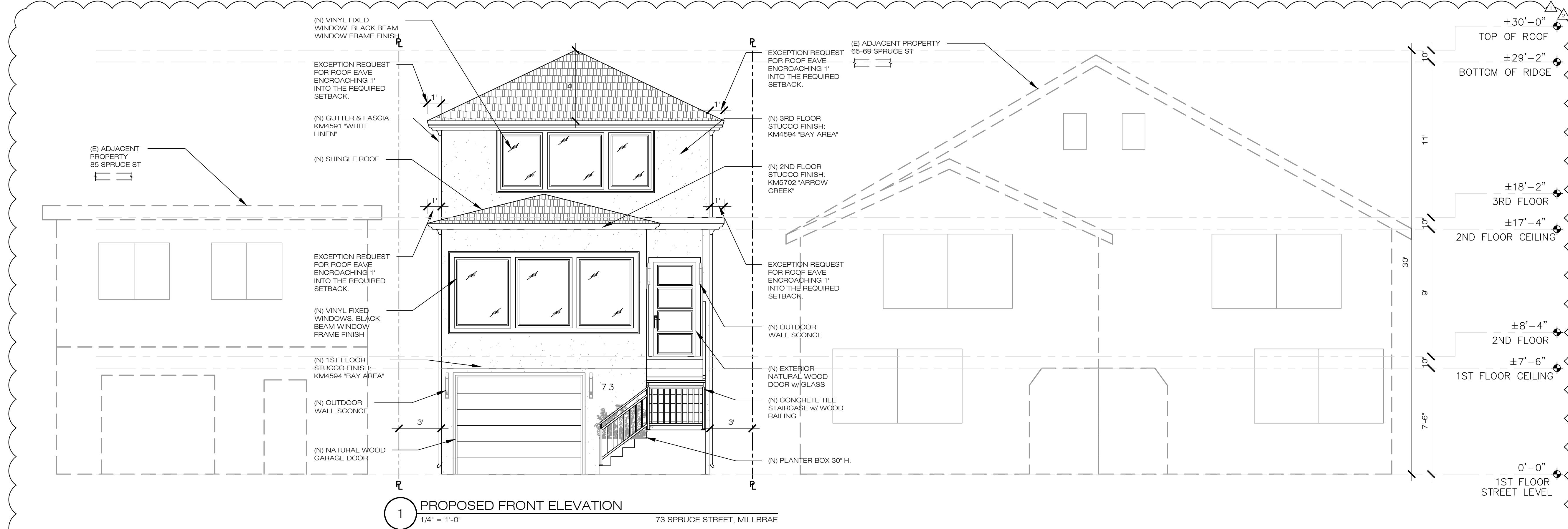
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DRAWN:	PETER CHOW	DATE:	03/02/2020
SCALE:	AS SHOWN	CHECKED:	C.C.
FILE:		REVIEWED:	C.C.
VIEW:		CONSULTANT:	

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NO.	REVISIONS/SUBMISSIONS
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2	07/27/2021

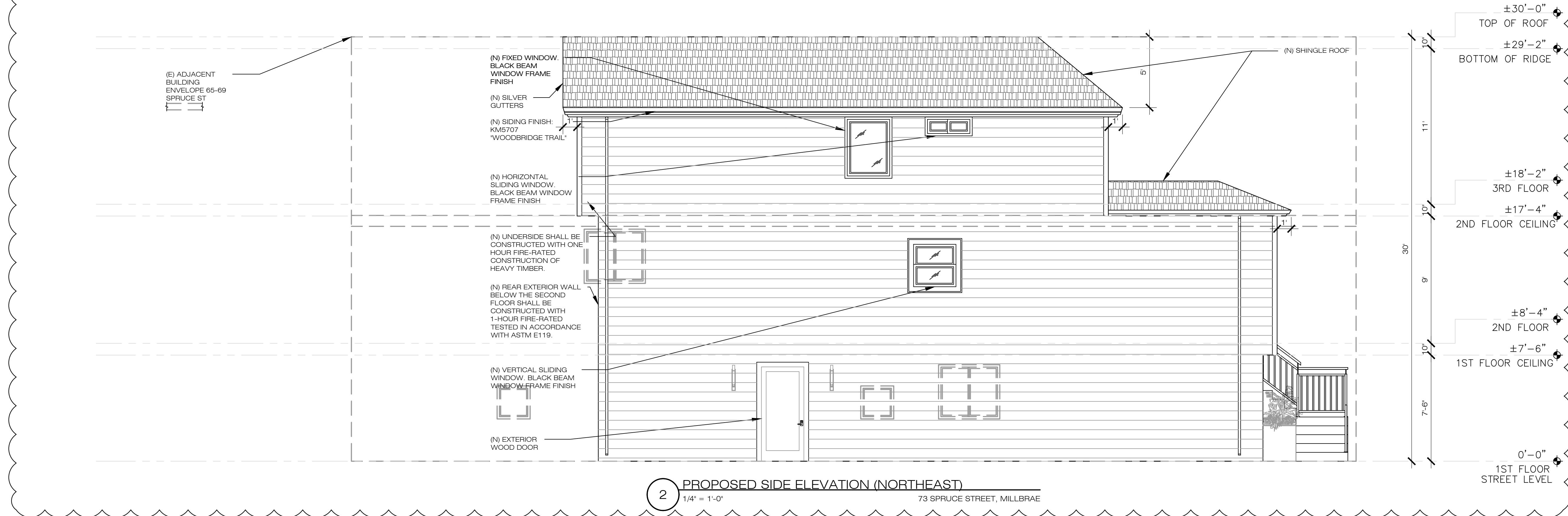
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PETER CHOW	200222
DRAWN:	DATE:
PETER CHOW	03/02/2020
SCALE:	CHECKED:
AS SHOWN	C.C.
FILE:	REVIEWED:
2-D	C.C.
SHEET:	CONSULTANT:



1 PROPOSED FRONT ELEVATION

73 SPRUCE STREET, MILLBRAE

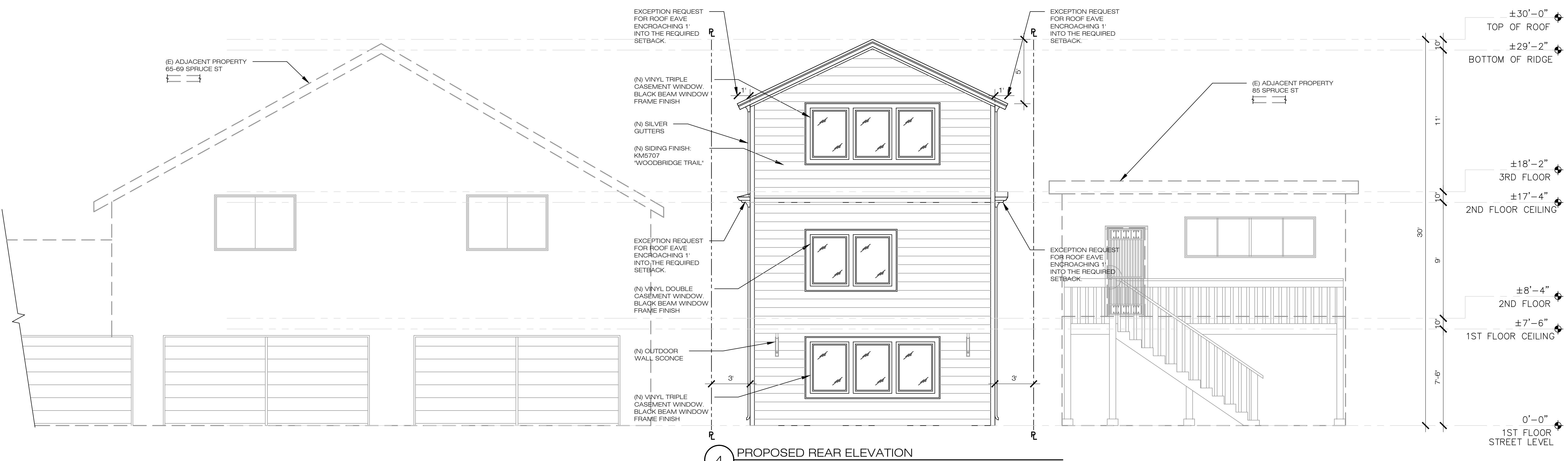
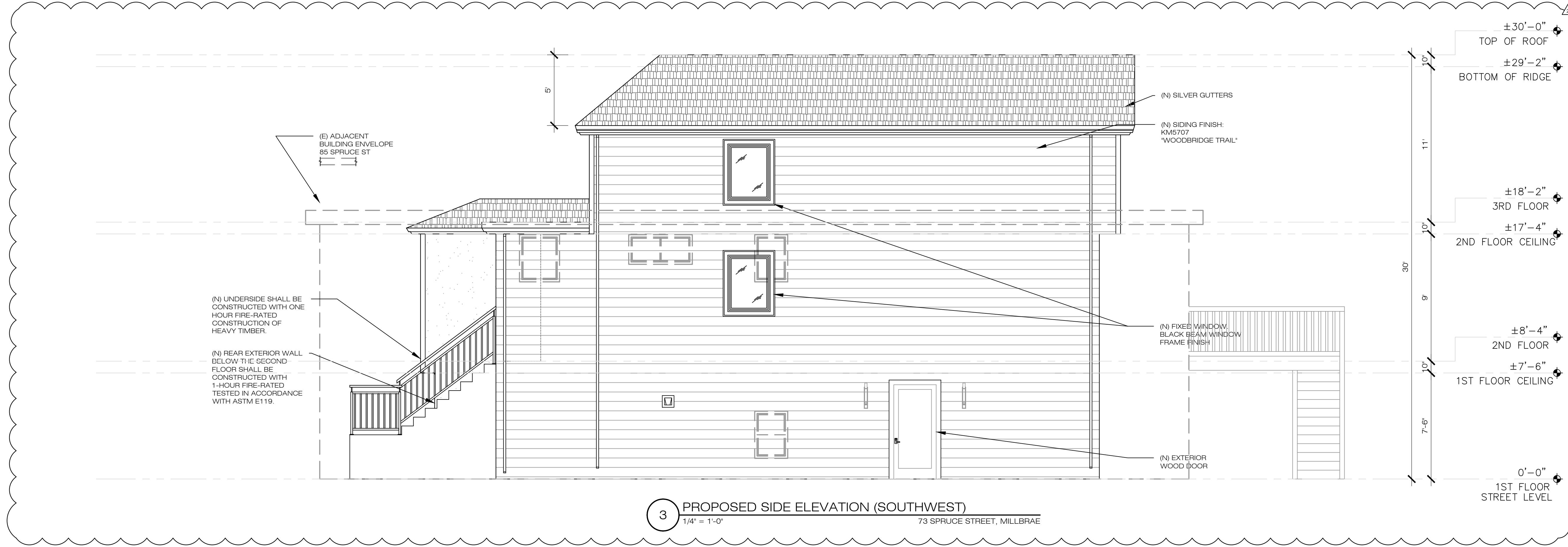
1/4" = 1'-0"

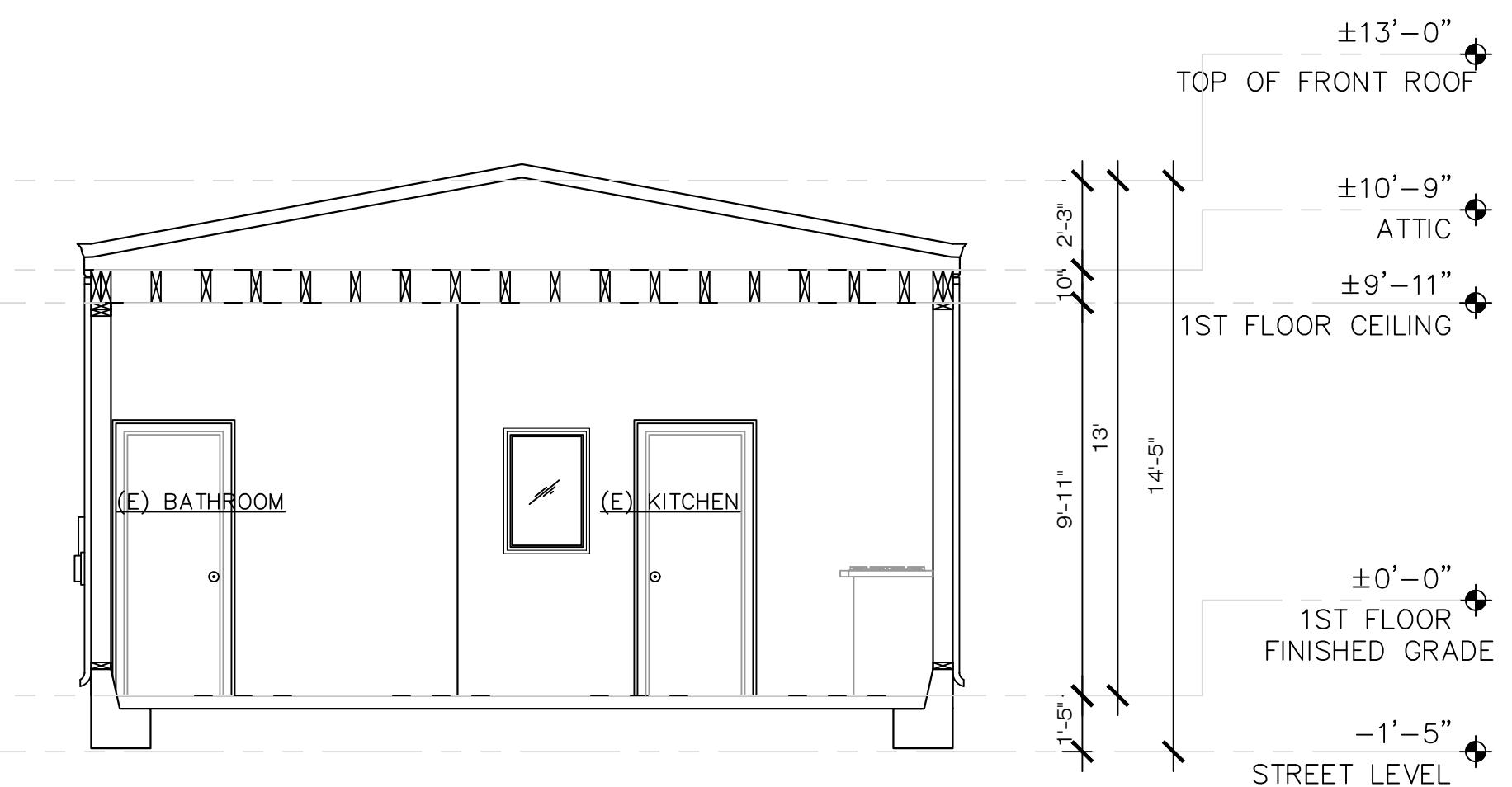


2 PROPOSED SIDE ELEVATION (NORTHEAST)

73 SPRUCE STREET, MILLBRAE

1/4" = 1'-0"



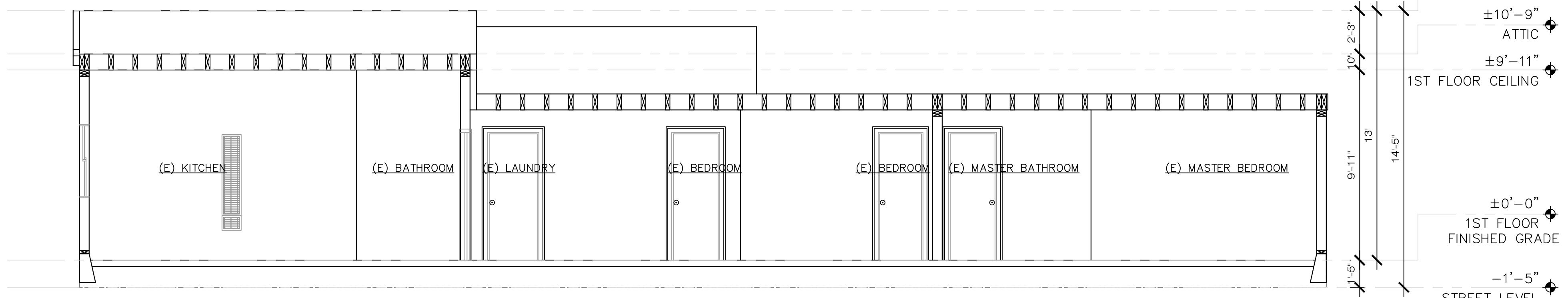


## 1 EXISTING LATERAL SECTION

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## 73 SPRUCE STREET, MILLBRAE

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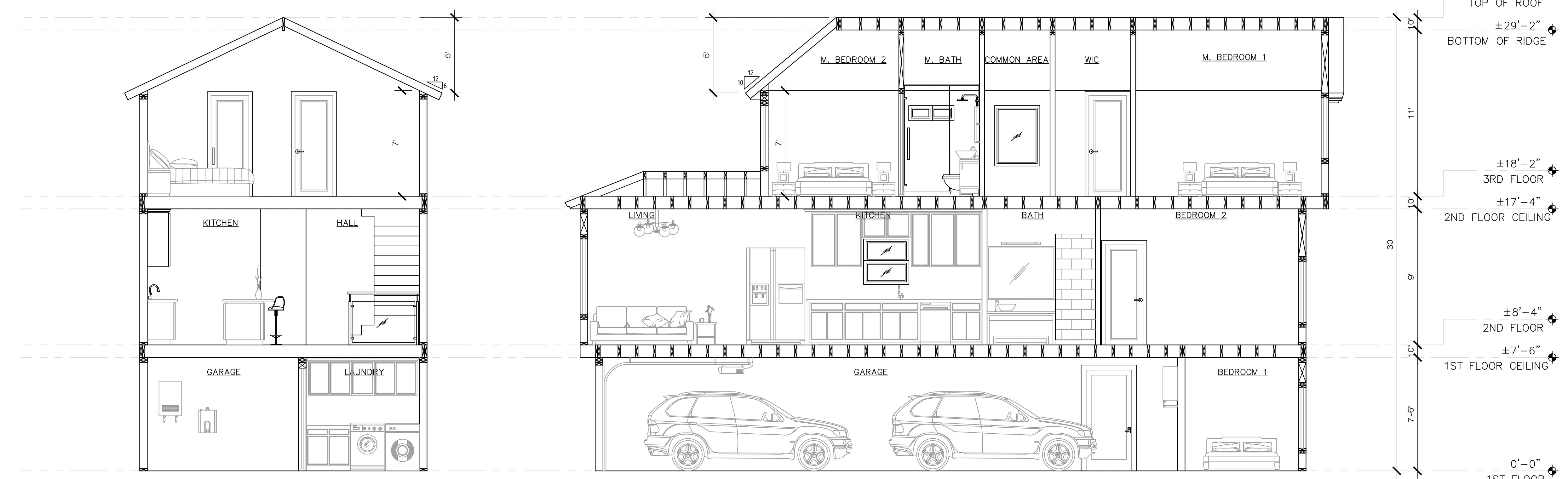


## 2 EXISTING LONGITUDINAL SECTION

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## 73 SPRUCE STREET, MILLBRAE

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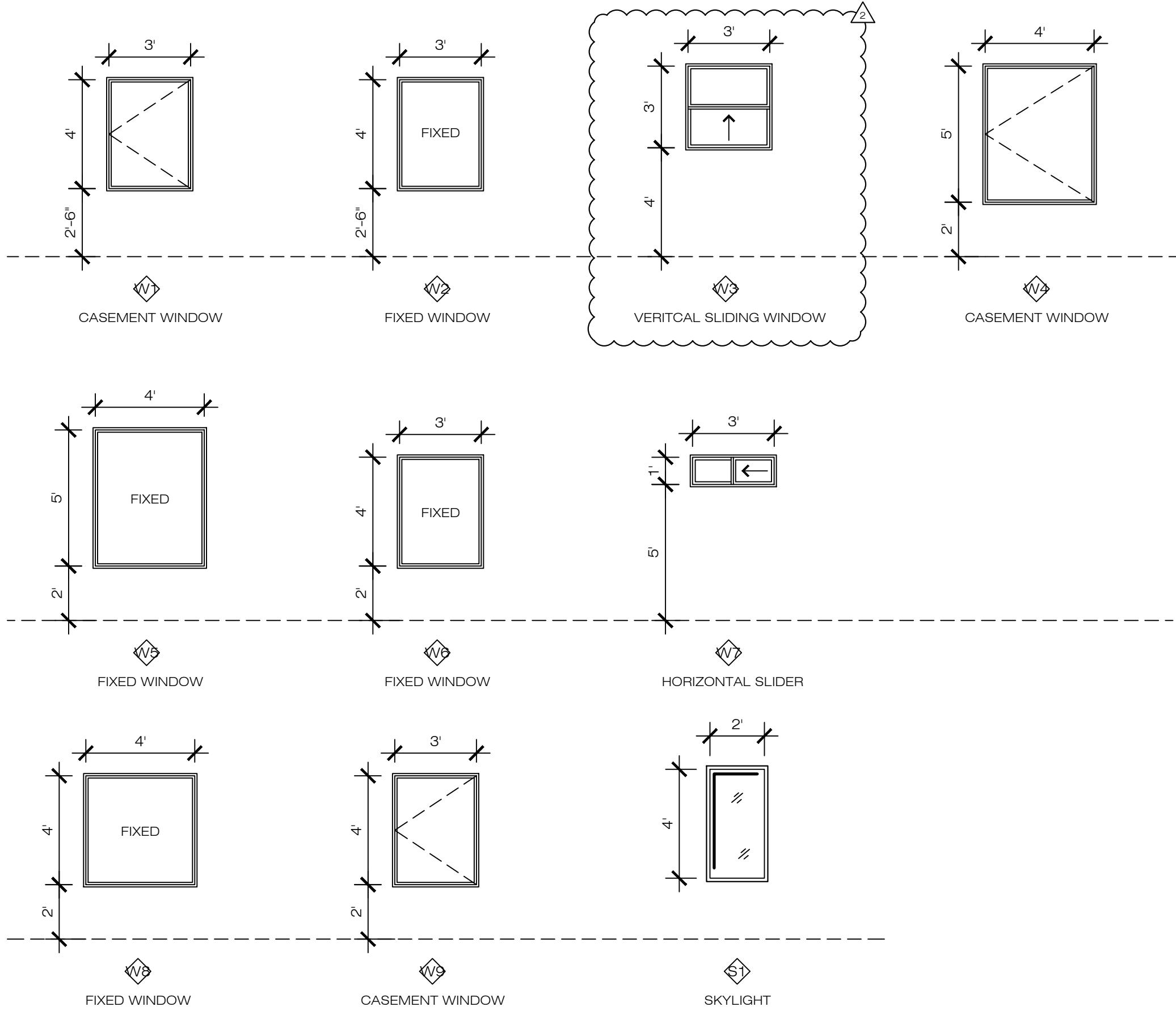


## 3 PROPOSED LATERAL SECTION

73 SPRUCE STREET, MILLBRAE

## 4 PROPOSED LONGITUDINAL SECTION

## 73 SPRUCE STREET, MILLBRAE



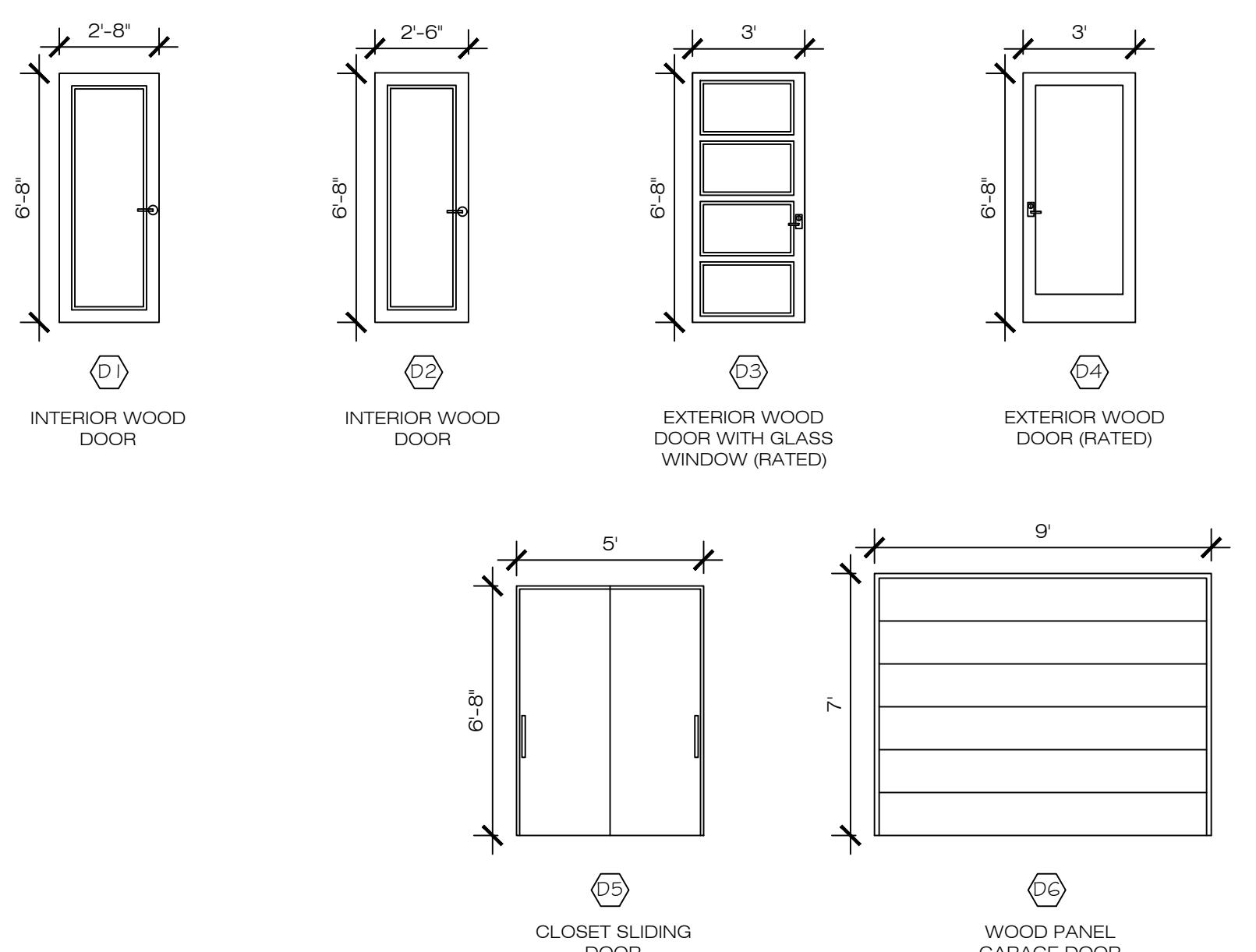
WINDOW SCHEDULE				
MARK	STYLE	SIZE	MATERIAL	QTY.
W1	CASEMENT WINDOW	3'0" x 4'0" @2'6"	VINYL FRAME WOOD CLAD OR E.Q.	6
W2	FIXED WINDOW	3'0" x 4'0" @2'6"	VINYL FRAME WOOD CLAD OR E.Q.	2
W3	VERTICAL SLIDING WINDOW	3'0" x 3'0" @4'0"	VINYL FRAME WOOD CLAD OR E.Q.	1
W4	CASEMENT WINDOW	4'0" x 5'0" @2'0"	VINYL FRAME WOOD CLAD OR E.Q.	2
W5	FIXED WINDOW	4'0" x 5'0" @3'0"	VINYL FRAME WOOD CLAD OR E.Q.	3
W6	FIXED WINDOW	3'0" x 4'0" @2'0"	VINYL FRAME WOOD CLAD OR E.Q.	1
W7	HORIZONTAL SLIDER	3'0" x 1'0" @5'0"	VINYL FRAME WOOD CLAD OR E.Q.	1
W8	FIXED WINDOW	4'0" x 4'0" @2'0"	VINYL FRAME WOOD CLAD OR E.Q.	1
W9	CASEMENT WINDOW	3'0" x 4'0" @2'0"	VINYL FRAME WOOD CLAD OR E.Q.	2
S1	FIXED CURB MOUNT SKYLIGHT	2'0" x 4'0" @ TOP	ALUM CURB W/ FIXED GLASS	2

## NOTE:

1. SILL HEIGHT SHALL NOT EXCEED 44" INCHES ABOVE THE FLOOR.
2. MINIMUM NET CLEAR OPENING SHALL BE 5.7 S.F.; EXCEPTION - GRADE LEVEL WINDOW MAY HAVE A MINIMUM CLEAR OPENING 5 S.F.
3. MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" INCHES.
4. MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" INCHES.
5. WINDOWS 2 MIN. BETWEEN GLAZING AND WINDOW SILL.

## SHEET NOTE

1. WINDOW REPLACEMENT: STREET-FACING WINDOW MATERIAL TO BE "WOOD OR ALUMINUM FRAME WOOD CLAD")
2. WINDOW TO BE HAVE MIN OF 0.30 U-FACTOR W/ 0.23 SHGC

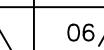


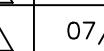
DOOR SCHEDULE				
MARK	STYLE	SIZE	MATERIAL	QTY.
D1	INTERIOR WOOD DOOR	2'8" x 6'8"	WOOD FRAME AND HOLLOW CORE	4
D2	INTERIOR WOOD DOOR	2'6" x 6'8"	WOOD FRAME AND HOLLOW CORE	8
D3	EXTERIOR WOOD DOOR W/ GLASS WINDOW	3'0" x 6'8"	WOOD FRAME & SOLID CORE W/ GLASS	1
D4	EXTERIOR WOOD DOOR	3'0" x 6'8"	ALUM FRAME WITH GLASS PANEL	3
D5	INTERIOR CLOSET SLIDING DOOR	5'0" x 6'8"	WOOD FRAME AND HOLLOW CORE	1
D6	GARAGE DOOR	9'0" x 7'0"	WOOD PANEL	1

NOTE:

1. THRESHOLD AT DOORWAYS SHALL NOT EXCEED 0.75 INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH FOR OTHER DOORS.
2. THRESHOLD HEIGHT SHALL BE LIMITED TO 7.75 INCHES (RESIDENTIAL) WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE MEANS OF EGRESS; THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING OR STEP.
3. ALL EXTERIOR DOOR TO BE INSTALLED WITH WOOD TRIM, U.O.N.

NO. REVISIONS/SUBMISSIONS

 06/28/2021

 07/27/2021

 DESIGNED: PROJECT NO.  
 PETER CHOW 200222  
 DRAWN: DATE:  
 PETER CHOW 03/02/2020  
 SCALE: CHECKED:  
 AS SHOWN C.C.  
 FILE: REVIEWED:  
 2-D C.C.  
 CONSULTANT:  
 SHEET: A6.0  
 OF SHEETS


 1 PROPOSED 3-D RENDER (FRONT)  
 NTS

73 SPRUCE STREET, MILLBRAE


 2 PROPOSED 3-D RENDER (SOUTHWEST SIDE)  
 NTS

73 SPRUCE STREET, MILLBRAE


 3 PROPOSED 3-D RENDER (REAR)  
 NTS

73 SPRUCE STREET, MILLBRAE


 4 PROPOSED 3-D RENDER (NORTHEAST SIDE)  
 NTS

73 SPRUCE STREET, MILLBRAE

RECEIVED 73 SPRUCE ST.

DEC 29 2022

MILLBRAE, CA

MATERIALS BOARD

CITY OF MILLBRAE  
PLANNING DIVISION

STUCCO COLOR

GUTTER COLOR

WINDOW



KM4601-2 Dried Grass

KM4608-3 Earthly Delight

KM5822-1 San Francisco Fog

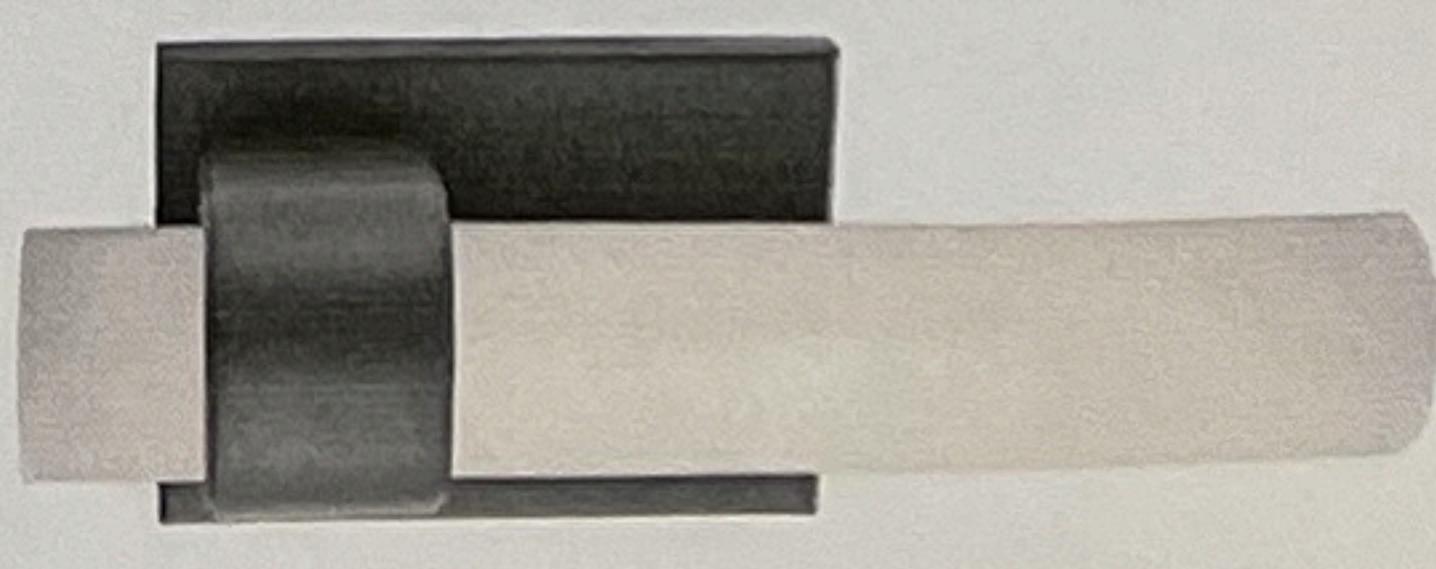
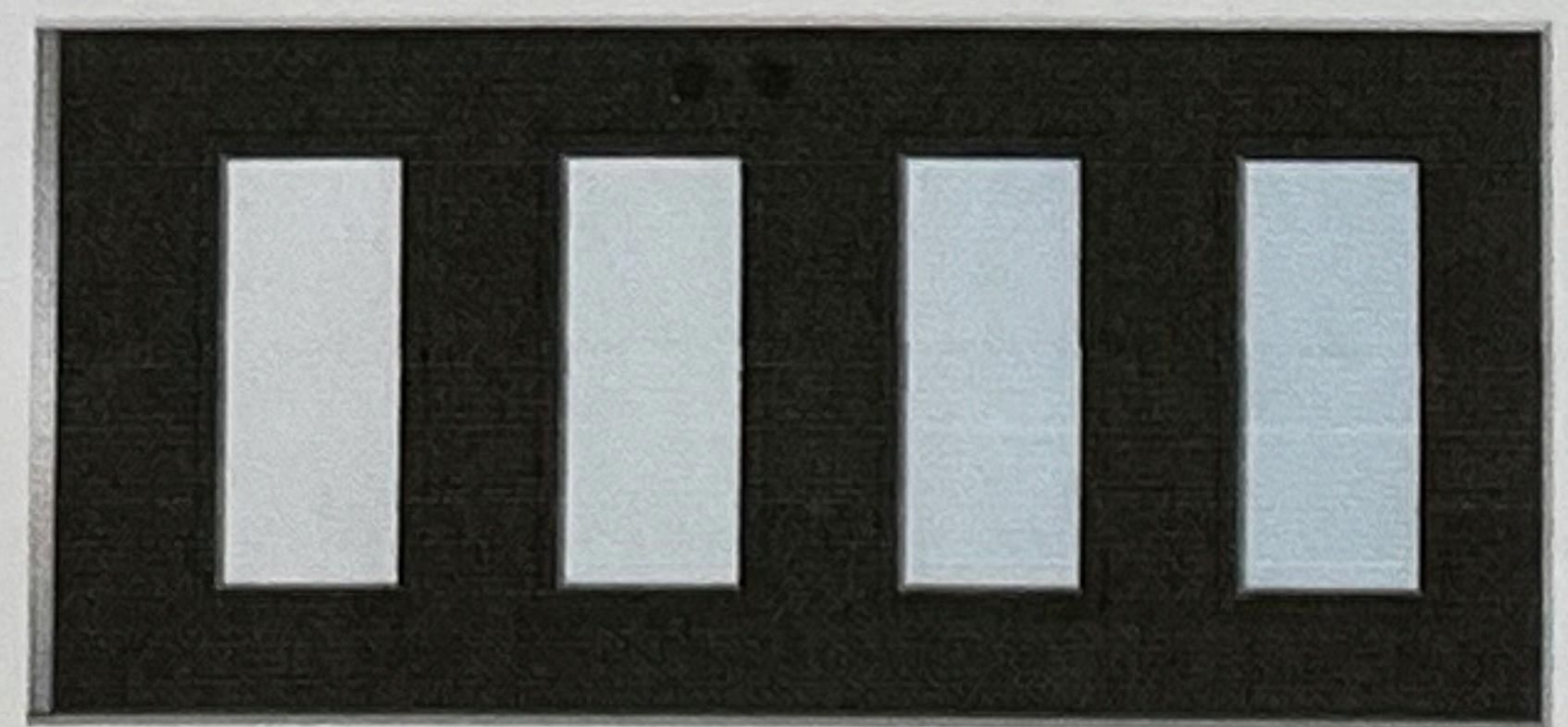
1ST & 3RD  
FLOOR

2ND  
FLOOR

ROOF

DOOR

FIXTURE



GARAGE DOOR

RAILING

