

**PLANNING COMMISSION
AGENDA REPORT**



**CITY OF MILLBRAE
621 Magnolia Avenue
Millbrae, CA 94030**

SUBJECT: DESIGN REVIEW PERMIT to allow the demolition of an existing single-story residence and construction of a three-story single-family residence located in the Duplex Residential (R-2) Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street (APN #021-302-220) (Public Hearing). ATTACHMENTS: <ol style="list-style-type: none">1. Resolution No. with Exhibit A. Conditions of Approval2. Project Description3. Exception Request4. Neighbor Consultation Forms5. Site Photos6. Project Plans7. Color & Material Board (to be distributed at meeting)	Report No.
	For Agenda of: January 4, 2023
	Address: 73 Spruce Street
	Department: Community Development
	Originator: Kaneca Pompey, Contract Planner
	Approved: Roscoe Mata, Planning Manager
	Property Owner: Yin Kwan Tam
	Applicant: Fiona Lee
Application submittal date: March 18, 2019 Application deemed complete date: December 23, 2022 Prior Planning Commission meeting date(s): none	

REPORT TYPE: <input checked="" type="checkbox"/> ACTION <input type="checkbox"/> INFORMATIONAL
ITEM TYPE: <input type="checkbox"/> CONSENT <input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> EXISTING BUSINESS <input type="checkbox"/> NEW BUSINESS

EXECUTIVE SUMMARY

The proposed project involves the demolition of an existing 1,001 square feet (sf), three-bedroom, two-bathroom, single-story residence, and the construction of a 2,200 sf, four-bedroom, four-bathroom, three-story, single-family residence. The proposal is subject to Planning Commission design review since it is a full demolition and new construction of a single-family residence.

The existing property is a single-story residence is located on non-conforming area of 2,500 sf interior lot (5,000 sf minimum lot size required) and 25-foot-wide lot (Minimum 50 feet lot width required). The 2,500-sf lot is located in the Medium Density Residential (R-2) zone. The proposed single-family residence project meets all the required development standards for the R-2 zone. The existing single-family residence is located on the south side of Spruce Street between Monterey and Bay Streets.

Since this application was submitted, staff has worked diligently with the owner and two different architects on this project to improve the architectural design and materials for the proposed new

residence. There were several design revisions and an architect change by the owner. Staff worked with the new architect to bring the project into conformance with General Plan design goals and objectives and to better conform to the R-2 development standards and reduce the mass and scale of the structure.

The existing 1,001 square feet open gabled roof home contains three bedrooms, two bathrooms, a kitchen, storage space, laundry space, and a front door entry. There is no parking garage. The existing roof pitch is 1:12 with a flat roof at the back of the house. The proposed project would demolish the single-family residence and construct a new single-family residence.

The proposed project would consist of a new four-bedroom, four-bathroom, three-story home with attached two-car garage. The proposed first floor includes a two-car tandem garage, front storage room, laundry room, rear first bedroom with closet, hallway connecting to a full bathroom and stairway to second floor. The second floor includes the front entrance steps to front door, entry room, and living room with open kitchen, hallway, and stairway to the first and third floors, a bathroom, and a rear second bedroom with a walk-in closet. The third floor consists of a front, main third bedroom with en suite bathroom and closet, a common area and hallway connecting to rear, main fourth bedroom with walk-in closet and en suite bathroom. The exterior colors and material would be a contemporary, stucco and wood clad exterior, three-story home with a combination open gable, hip roof type and two skylights. The architectural design and exterior materials are compatible with the design style of several two-story homes in the neighborhood. The backyard will have a garden patio area and planters with built in seating.

The proposed home would increase the total square footage to 2,200 sf. The FAR would increase from 40% to 88% (88% is the allowable maximum). The lot coverage would decrease from 40% to 39% (50% is the allowable maximum).

RECOMMENDATION

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the DESIGN REVIEW PERMIT to allow the demolition of an existing single-story residence and construction of a three-story single-family residence located in the Duplex Residential (R-2) Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached conditions of approval.

NEIGHBORHOOD AND SURROUNDING USES

The project site is in the Marina Vista Park subdivision, located on the south side of Spruce Street between Monterey Street and Bay Street. The site is a 2,500-sf lot, zoned Duplex Residential (R-2) identified in the General Plan as Medium Density Residential. The lot is currently occupied by a single-story, single-family residence.

Project Address: 73 Spruce Street					
	Site	North	South	East	West
General Plan	Medium Density Residential	Medium Density Residential	Medium Density Residential	Medium Density Residential	Medium Density Residential
Zoning	R-2	R-2	R-2	R-2	R-2

PROPOSAL

The proposed project will demolish the existing single-story, single-family residence and construct a new three-story, single-family residence. The proposed first floor includes a two-car tandem garage, front storage room, laundry room, rear first bedroom with closet, hallway connecting to a full bathroom and stairway to second floor. The second floor includes the front entrance steps to front door, entry room, and living room with open kitchen, hallway, and stairway to first and third floor, bathroom, and a rear second bedroom with a walk-in closet. The third floor consists of a front, main third bedroom with en suite bathroom and closet, a common area and hallway connecting to rear, main fourth bedroom with walk-in closet and en suite bathroom. The backyard will have a garden patio area and planters with built in seating.

Building height would increase from 14'-5" to 30'. The roof pitch is a combination 3:12, 5:12, 6:12, 10:12 sloped roofs with a combination open gable and hip roof type. All ground floor and upper story setback requirements are met. The proposed two-car garage satisfies the required covered parking for a single-family dwelling and the project complies with all other R-2 zoning development standards.

The existing home measures 1,001 square feet (sf) in area with no parking garage. The proposed home would increase the total square footage to 2,200 sf and include a two-car garage. The FAR would increase from 40% to 88% (88% is the allowable maximum). The lot coverage would decrease from 40% to 39% (50% is the allowable maximum).

ANALYSIS

The proposed new construction complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in bold *italics*):

Interior Lot (Duplex-R2)	Requirement	Existing	Proposed
Building Setbacks (All Floors)			
1 st Floor Front Setback NORTH	20 Ft.	<i>10 Ft.</i>	20 Ft.
1 st Floor Side Setback EAST	3 Ft.	3 Ft.	3 Ft.
1 st Floor Side Setback WEST	3 Ft.	3 Ft.	3 Ft.
1 st Floor Rear Setback SOUTH	10 Ft.	24'-7"	33 Ft.
2 nd Floor Front Setback NORTH	20 Ft.	N/A	20 Ft.
2 nd Floor Side Setback EAST	3 Ft.	N/A	3 Ft.
2 nd Floor Side Setback WEST	3 Ft.	N/A	3 Ft.
3 rd Floor Front Setback NORTH	20 Ft.	N/A	11 Ft. -11 In.
3 rd Floor Side Setback EAST	3Ft.	N/A	3 Ft.

3 rd Floor Side Setback WEST	3 Ft.	N/A	3 Ft.
	Gross Area	Existing	Proposed
Site Area	5,000 SF	2,500 SF	No Change
Maximum Lot Coverage	50% (2,500 SF)	40% (1,001 SF)	39% (976 SF)
Maximum Floor Area Ratio	88% (4,400 SF)	40% (1,001 SF)	88% (2,200 SF)
Maximum Building Height	30 Ft.	14 Ft. 5 In.	30 Ft.
Minimum Rear Yard Open Space	1,000 SF	604 SF	1,058 SF
Enclosed Parking	2 car garage	No parking garage	2 car garage

Design Review

Section 10.05.2500 (Design Review Permits) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for new single-family homes. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties. The project requires design review because the applicant proposes to demolish the existing single-story single-family residence and build a new three-story single-family residence on the lot with a setback exception to allow the roof eaves to encroach into the side setbacks by one foot.

The existing home is a single-story home similar to other single-family buildings in the neighborhood. The front exterior is a pink colored stucco, with brown roof trim, white painted wood door, and vinyl front window with white trim. The roof is an open gabled roof type with roof pitch of 1:12 front and flat rear roof.

The proposed exterior finishes will be dark grey stucco finish (first floor) and exterior walnut siding finish (second and third floors), fiberglass garage door, front wood door with glass windows, 30" height planter box at entry stairs, two front outdoor sconce style lights, vinyl fixed windows with black beam window frame finish (second floor), vinyl triple casement windows with black beam window frame finish (third floor). The roof will be dark grey shingle with proposed roof pitch ratio combination of 5:12 and 3:12 for the first floor and pitch ratio combination of 6:12 and 10:12 slope for the third floor.

Setback Exception

Pursuant to Section 10.05.2530 subsections (C) and (D) (Exceptions) of the Millbrae Municipal Code, the applicant is requesting a setback exception to allow the encroachment of an architectural feature (roof eaves) one foot within the required three feet interior side setback on both sides of the proposed building. The setback within the interior lot lines would be two feet (where three feet is required) on the west and east elevations (MMC Section 10.05.0720, 7.a.). The exception is requested for the following reasons. The narrow non-conforming lot (25 feet, where 50 feet is required) makes it challenging to build a residential building on the narrow lot without the roof eaves encroaching within the three-feet interior setback. Changes to the building width would cause a very narrow interior layout for the livable space, rendering some spaces as unusable. The proposed eaves are designed to be compatible with the neighborhood and the roof eaves provide the attic ventilation required and help control and divert storm water runoff. The exterior walls of the building would still comply with the required three-foot setback from the property line. The proposed deviation granted will not be detrimental to property and improvements existing upon

any abutting parcel and would be compatible with the property and improvements existing or proposed upon the project site.

Neighborhood Character

The project is located in the Marina Vista neighborhood. Most homes in this neighborhood were built between the 1940-1960s. The majority of homes in the area are a mix of two-three bedroom, one and two-story single-family, duplex homes and apartments with attached garages. The homes are a mixture of open gable, flat, and cross hipped roof designs. The Marina Vista subdivision is zoned single-family residential (R1) north of San Jose Avenue and zoned duplex (R2) south of San Jose Avenue. The existing residence is situated on a Spruce Street between Monterey Street and Bay Street. Marina Vista Park is located just east of the Spruce and Bay Street intersection. The lot is flat and there are no views of the San Francisco Bay from the existing property. The subject building was built in 1945.

Parking

The existing single-family residence does not contain a parking garage. The proposed plan provides an attached tandem 631 square foot garage. Pursuant to section 10.05.2100 of the Zoning Ordinance, two garage spaces are required per single-family-dwelling. The proposed enclosed parking of 631 square feet provided on the site exceeds the 400 square feet required by the Zoning Ordinance and conforms to the recommended parking guidelines of two-enclosed spaces.

Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, ten days prior to the hearing, staff posts notices in at least three public places along the street and stakes a notice placard on the subject property. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; and on the bulletin boards at City Hall and the Millbrae Public Library.

Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of four Proof of Neighbor Consultation forms from the adjacent residences have been submitted as follows:

Response	#	Address	Date Applicant Sent	Date Received by Staff
Support	3	337 Cedar Street (certified mail receipt, staff letter) 85 Spruce (certified mail receipt, staff letter) 70 Spruce Street (Certified Mail receipts, staff letter and phone call)	7/1/20 7/15/21 7/12/21	7/20/21 8/9/21 7/16/21
Oppose	1	339 Cedar street (certified mail receipt, staff letter)		

Unreturned	6	65 and 69 Spruce Street (certified mail, staff letter	5/28/21	6/23/21
		80 Spruce Street (Certified mail receipt,	5/28/21	6/23/21
		66 Spruce Street (Certified mail receipt	5/28/21	6/23/21
		67 Spruce Street (Certified mail receipt	5/28/21	6/23/21
		80 Spruce Street (Certified mail receipt)	5/28/21	6/23/21
		62 Spruce Street (Certified mail receipt)	5/28/21	6/23/21

The applicant sent out ten neighbor consultation forms and three responded in support of the project and one opposed. There were six consultation forms sent out certified mail with no responses received. The neighbor at 339 Cedar Street is located on a lot to the rear, southwest of the subject site. He expressed the following concerns that a three-story building did not conform with surrounding structures which are two stories, inadequate parking, too many investors and owners in neighborhood do not take care of property and concern for safety of pedestrian and children crossing to Lomita Park at the Spruce and Bay Street intersection.

Staff evaluated the concerns expressed by the owner of 339 Cedar Street based on site visits and project research. Regarding the height of the building, because the lot is a narrow, non-conforming lot, in order to build a single-family residence, the applicant needed to build three levels to provide ample habitable space for the residence while complying with the two-car garage requirement and backyard open space requirement. The proposed single-family residence meets the height requirement for the zone which is 30 feet and the third story is setback from the front of Spruce Street, so that the massing will not be significantly different from the adjacent two-story residences. The proposed single-family residence provides two-car garage parking and will not impact on-street neighborhood parking. Residents are required to maintain their property according to Municipal Code. Additionally, Code Enforcement regularly investigates property maintenance complaints and enforces residential maintenance requirements. The City takes the safety of pedestrian and children street crossings seriously, and when the Public Works department is contacted, they actively investigate, and address safety issues reported by residents.

REQUIRED FINDINGS

The existing General Plan and the City of Millbrae Planning and Zoning Ordinance provide goals and guidance related to design. The proposed project was evaluated for consistency with the General Plan, Design Review Permit and Exception Findings and was determined to be consistent (Attachment 1, Resolution with Exhibit A, Conditions of Approval).

ENVIRONMENTAL REVIEW

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1 (l)(1) of the California Environmental Quality Act (CEQA) that allows for the demolition of one single-family residence and Class 3 (a) of the CEQA that allows for the construction of a new single-family residence in a residential zone. The subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance.

PLANNING COMMISSION ACTION:

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution to allow the demolition of an existing single-story residence and construction of a three-story, single-family residence in the Duplex Residential (R-2) Zoning District Zoning District with an EXCEPTION request to allow an architectural feature (roof eaves) to encroach one foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached Conditions of Approval.

RESOLUTION NO.

**RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE
APPROVING THE DESIGN REVIEW PERMIT FOR THE DEMOLITION OF AN
EXISTING SINGLE-STORY RESIDENCE AND THE CONSTRUCTION OF A THREE-
STORY RESIDENCE IN THE DUPLEX RESIDENTIAL (R-2) ZONING DISTRICT
WITH AN EXCEPTION REQUEST TO ALLOW AN ARCHITECTURAL FEATURE
(ROOF EAVES) TO ENCROACH ON FOOT WITHIN THE REQUIRED THREE-FOOT
INTERIOR SIDE LOT LINE AT 73 SPRUCE STREET. (PUBLIC HEARING)**

CITY OF MILLBRAE

WHEREAS, the applicant has filed PA-2019-007 to design review permit to allow for the demolition of an existing single-story residence and the construction of a three-story residence in the Duplex Residence (R-2) Zoning District with an exception request to allow an architectural feature (roof eaves) to encroach on foot within the required three-foot interior side lot line at 73 Spruce Street, subject to the attached Conditions of Approval; and

WHEREAS, the proposal will consist of the demolition of an existing single-story 1,001 square foot residence and the construction of a three-story 2,200 square foot single-family residence; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 Class 1 (l)(1) of the California Environmental Quality Act (CEQA) that allows for the demolition of one single-family residence and Class 3 (a) of CEQA that allow for the construction of a new single-family residence in a residential zone; and

WHEREAS, the subject property and/or structure is not listed on the California or National Register for historic resources or is associated with any person of historical importance; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

Design Review Permit

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

The majority of the homes in the area are a mix of two-three bedroom, one and two story single-family, duplex homes and apartment buildings with attached garages. Common roof types observed in the neighborhood are a mixture of open gable, flat, and cross hipped roof designs. The proposed three-story, single-family residence would have a hip roofs on the

second and third floors. The exterior materials, colors and roof style are similar to the existing residences on the street and in the neighborhood. The project would utilize earth-tone colors and wood paneling in combination with beige painted stucco on the first and third floors. These materials and colors are compatible with the residences in the neighborhood. As conditioned, the front yard landscaping will include natural landscaping behind two terrace retaining walls and shrubs adjacent to the driveway and wood hand railings for the entry staircase.

The proposed exterior finishes will be beige stucco finish (first floor) and exterior walnut siding finish (second and third floors), all wood garage door, dark wood front door with four glass windows, front staircase with wood railing and two front outdoor sconce style lights on either side of the garage. The front window will be vinyl fixed windows with black beam window frame finish (second floor), and vinyl triple casement windows with black beam window frame finish (third floor). The fascia above the garage will be black and white for the second and third floor roofs. The roof will be dark grey shingle with proposed roof pitch ratio combination of 5:12 and 3:12 for the first floor and 6:12 and 10:12 slope for the third floor.

The project's architectural, landscaping, and general appearance are in keeping with the character of the neighborhood.

b. The project complies with all applicable development regulations;

The subject property is an existing non-conforming interior lot in the R-2 zone and meets all setbacks, floor area and height requirements for the Duplex (R-2) Zone. The proposed project would demolish an existing 1,001 square foot single-story residence and construct a 2,200 square foot three-story, single-family residence. FAR will increase from 40% to 88% (88% is the allowable maximum) and the lot coverage would decrease from 40% to 39% (50% is the allowable maximum). The provided two-car garage meets the parking requirements for a single-family residence. The project complies with all applicable development regulations.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

Based on staff site visit, plan review and neighbor responses, staff found that the project meets the intent of the design review guidelines and would not cause any negative visual impact to neighbors. There are no identified impacts to views of the San Francisco Bay in the neighborhood from the proposed project.

d. The proposal is not detrimental to the orderly, harmonious and safe development of the city and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.

The proposed project complies with all standards as identified in the Zoning Code and will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

Exception Request

The applicant for the proposed project is requesting setback exception to allow the encroachment of the roof eaves one foot into the required three foot within the interior side lot lines. Pursuant to Section 10.05.2530 subsections (C) and (D) of the Millbrae Municipal Code, the following findings are required under this Section of the Code, for the Planning Commission to approve any exception:

- 1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel; and**

The applicant is requesting a setback exception to allow construction of roof eaves one foot within the required three-foot within the interior side lot lines. On both sides of the proposed building. The setback within the interior lot lines would be two feet (where three feet is required) on the west and east elevations. (MMC Section 10.05.0720, 7.a.) The exception is requested for the following reasons. The narrow non-conforming lot (25 feet, where 50 feet is required) makes it challenging to build a residential building on the narrow lot without the roof eaves encroaching within the three-foot interior lot line. Changes to the building width would create a very narrow interior layout for the livable space. The proposed eaves are designed to be compatible with the neighborhood and the roof eaves provide the attic ventilation required and help control and divert storm water runoff. The exterior walls of the building will meet the required three-foot setback from the property line. The proposed deviation granted will not be detrimental to property and improvements existing upon any abutting parcel.

- 2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

The exception request is to allow the roof eaves to encroach one foot into the minimum three-foot side setbacks. The exception is requested because the existing narrow non-conforming lot results in a building exterior wall as proposed requires the roof eaves to extend into the three-foot setback by twelve inches, to clear the water from the roof onto the property. The exterior walls of the building would still comply with the three-foot setback requirement. The proposed setback exceptions are compatible with the property and improvements upon the project.

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.

2. The adoption of the Design Review Permit and Exception Request will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 4th day of January, 2023 by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIR

Maureen Davis

ATTEST:

SECRETARY

Roscoe Mata

**CITY OF MILLBRAE PLANNING APPLICATION
PROJECT CONDITIONS OF APPROVAL**

As Approved by the City Council on _____

Project: 73 Spruce Street Single Family Dwelling Unit (Planning Application #2019-007)

The following conditions of approval apply to the project referenced above. Additional language within a condition may further define the timing of required compliance.

GENERAL REQUIREMENT CONDITIONS OF APPROVAL:

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code.
2. The final building permit plans shall include these Conditions of Approval printed on the plan set sheets.
3. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
4. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
5. Front yard Landscaping Requirement - Front yards are required to have not less than 60% landscaping. "Front yard" is a yard extending across the full width of the front of the lot between its front lot line and any portion of the front facade of the main building measured from the front property line. The property owner is responsible for complying with this requirement.
6. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
7. Any off-site improvements found to be damaged shall be repaired and/or replaced as

required by the City of Millbrae Director of Public Works.

8. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.
9. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
10. **Developers Fees for School Facilities** - All building permits for new buildings or additions over 500 square feet shall pay developer’s fees to both the San Mateo United High School District AND the Millbrae Elementary School District as permitted by the California Education Code section 17620 and California Government Code Section 53080. When a building permit is ready to issue, the permit applicant will be given a copy of the completed application to deliver to the school districts to pay the fees. Then proof of payment must be submitted to the City Building before the permit can be issued.. Please visit the following website to call for current fees and for payment:
<https://www.ci.millbrae.ca.us/home/showpublisheddocument?id=17533>.
11. **Hours of Construction** - Pursuant to Millbrae Municipal Code Section 9.05.040, the hours of noise generating construction activity shall be limited to the hours of 7:30 AM to 7:00 PM Monday through Friday, 8:00 AM to 6:00 PM Saturdays and 9:00 AM to 6:00 PM on Sundays and Holidays. Work outside of these hours may be approved by the Building Official when requested, in writing, a minimum of 48 hours in advance.

STANDARD CONDITIONS OF APPROVAL:

12. **Construction Conformance with Approved Planning Application** - All building permit application plans and details, and subsequent construction shall substantially conform with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. No signage is approved as part of the planning application; signage is governed by the City’s Sign Ordinance. Documentation of any changes to the approved Planning Application plan set shall be provided at the time of Building Permit application submittal. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. Modifications to Building Permit plans must be approved prior to construction of the modified improvements. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
13. **Required Building Wall and Roof Demolition Approval Requirement** - No demolition of

exterior walls, roof structure, or any other portion of the building shall be permitted beyond those that are authorized by this planning application approval and related building permit. The Planning Division shall be contacted immediately in the event that during construction the removal of any additional existing walls, roof structure, or any other portion of the building not originally approved for removal are proposed. No further construction or demolition shall continue prior to Planning Division and Building Division approval. A new planning application and a modification to the building permit may be required depending on the scope of the proposed modification to the approved plans.

14. Prior to the framing inspection, a licensed surveyor shall measure the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.
15. Planning Inspections - Planning inspections shall be required at rough framing stage and prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first. The applicant shall submit a written verification prepared by the Project Licensed Landscape Architect that the Landscape Architect has inspected all trees, shrubs, planting and irrigation and that they are installed and functioning as specified in the approved plans.
16. Conformance with Approved Planning Application at All Times - All physical improvements, uses, and operational requirements authorized by the approved planning application shall substantially conform at all times that the use permitted by this planning application occupies the premises with the approved planning application, including: drawings, plans, renderings, materials samples, building colors, the written project description, and other items submitted as part of the approved planning application. Any proposed modifications to the approved planning application must be reviewed by the Community Development Director. The Community Development Director shall determine whether the proposed modifications substantially conform with the approved planning application, or whether a planning application for a modification of a previously approved planning application is required to be submitted to permit the proposed project modifications.
17. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
18. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.

19. Payment of Outstanding Planning Application Fees - The applicant shall pay any outstanding planning applications fees prior to the issuance of the first required building permit.

20. Indemnification:

- a. As a condition of this approval, and to the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, consultants, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever (collectively "Claims") that are caused directly by any third party challenges to the City's approval of the applicant's applications for approval of the project including, but not limited to, the City's California Environmental Quality Act determination for the project. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition. If the applicant is required to defend the City as set forth above, the City shall retain the right to select the counsel who shall defend the City. The parties shall cooperate in the joint defense and if applicable settlement of any such Claim.

21. Developer is hereby notified, as required by Government Code §66020, that the approved plans, the conditions of approval, and the adopted City fee schedule found at <https://www.ci.millbrae.ca.us/departments-services/community-development/planning-division/informational-hand-outs>, constitute written notice of the description of the dedications, reservations, amount of fees and other exactions related to the project. As of the date of project approval, the 90-day period has begun in which Developer may protest any dedications, reservations, fees or other exactions imposed by the City. Failure to file a protest within the 90-day period in compliance with all of the requirements of Government Code §66020 will result in a legal bar to challenging the dedications, reservations, fees or other exactions.

22. Payment of Development Impact Fees - The applicant shall pay the Citywide Development Impact Fees. The final fee shall be determined based on the fee in effect at the time the fee is paid, as established by City Council resolution. The City applies the current fees in effect at the time of payment of any permit fees - All fees imposed on a non-residential development project shall be paid prior to the issuance of the first required building permit for non-residential projects. All fees imposed on a residential development project with one unit shall be collected prior to the date of the final inspection, or the date the certificate of occupancy is issued, whichever occurs first. For residential developments containing more than one unit, all fees shall be paid when the first unit in the development receives its final inspection or certificate of occupancy, whichever occurs first. If fees are paid at final inspection or occupancy, an impact fee agreement between the city and the applicant shall be prepared and recorded as a lien on the property(ies).
23. During construction the following standards for sanitation are required: Garbage cans, construction dumpsters, and debris piles shall be removed on a minimum weekly basis. All food related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of in closed containers only and shall be regularly removed from the site. Inspections, conducted as part of the regular construction compliance, will be conducted to ensure compliance of the Applicant and contractors with this requirement.

BUILDING DIVISION CONDITIONS OF APPROVAL:

24. The applicant shall submit building permit plans that shall indicate that the roof projection (overhang) around the perimeter of the building both first and second floor shall be constructed with 1 hour fire rated construction tested in accordance with ASTM E119 CRC Table R302.1(1)
25. The proposed project exceeds 900 square feet in total floor area of addition, remodeling and new construction shall require the installation of automatic fire sprinkler system.
26. The applicant shall ensure the finish elevation of the basement bedroom and garage be higher than the top elevation of the nearest storm drain, or provide adequate storm drainage to divert storm water to the street to reduce the possibility of flooding.

PUBLIC WORKS DEPARTMENT CONDITIONS OF APPROVAL:

27. Site Improvement Plans. The applicant shall ensure that Site Improvement Plans for all on-site and off-site improvements shall be prepared by a Registered Civil Engineer and approved by the City Engineer. All improvements shall be designed and constructed in accordance with the City's Design Standards, Specifications and Standard Plans, unless otherwise specifically approved by the City. On-site and off-site improvements include, but are not limited to, the following: storm drainage, street improvements, utilities, and landscaping; water mains and fire hydrants; sanitary sewer; utility undergrounding; and

any other improvements listed herein necessary for a complete and acceptable public improvement project.

28. Encroachment Permit. The applicant shall obtain an Encroachment Permit from the City of Millbrae Public Works Department prior to beginning any work within any public right-of-way.
29. Private Property Off-site Encroachments. If the design of any site improvement requires encroachments onto neighboring properties during construction, the applicant shall obtain written agreement(s) with the affected neighboring property owner(s) for submittal to the City Engineer, for review and approval, prior to approval of the permit for the work.
30. Damage to Existing Utilities, Pipelines and Other Appurtenant Structures. Any existing utilities, pipelines and other appurtenant structures that are to remain after development, if damaged by project construction, shall be replaced by the applicant to the satisfaction of the City Engineer, prior to the release of utilities, final inspection, or issuance of a certificate of occupancy, whichever occurs first.
31. Grading Plan. The applicant shall submit all information including a Grading Plan accompanied by Soils Engineering and Engineering Geology Reports, in the accordance with requirements of the City of Millbrae Municipal Code Title 9, Chapter 9 and obtain a grading permit and pay appropriate fee and security deposit.
32. Erosion Control Measures. The Grading Plan shall also include erosion control measures to prevent soil, dirt and debris from entering the storm drain system, in accordance with the practices outlined in the ABAG Erosion and Sediment Control Handbook, California Storm Water Best management practice Handbooks, and the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual.
33. Compliance with Grading Regulations. The applicant shall comply with the regulations and provisions contained in the City's Grading Ordinance, the City's Storm Water Pollution Prevention Permit, and the National Pollutant Discharge Elimination System (NPDES), to the satisfaction of the City Engineer and the Regional Water Quality Control Board.
34. Off-site Improvements. The applicant shall provide offsite improvements and install new sidewalk, curb and gutter from property line to property line.
35. Compliance with Americans with Disabilities Act (ADA). All new sidewalks and driveways shall comply with the Americans with Disabilities Act (ADA) requirements.
36. Storm Drainage Improvements. All storm drainage facilities shall be in accordance with the City of Millbrae standards. The storm drainage improvements design shall be submitted to the City and are subject to the review and approval by the City Engineer.

ENVIRONMENTAL SERVICES CONDITIONS OF APPROVAL:

37. Debris Box & Roll-Away Bins: The City has an exclusive contract with South San Francisco Scavenger. All debris boxes and roll-away bins shall be obtained through South San Francisco Scavengers. A [Debris Box Acknowledgement Form](#) must be filled out prior to obtaining any permits and included in the document referenced below. A debris Box Acknowledgement Form can also be obtained by e-mailing apappajohn@ci.millbrae.ca.us, calling (650) 259-2444 or picking one up at the Public Works counter at City Hall.
38. Construction and Demolition Reuse and Recycling Requirements & Space Requirements: Applicants are required to follow the CalGreen Building Code requirements for reusing and recycling materials generated from projects as implemented by the City's Building Division.
39. Solid waste bins – operations: Applicants are required to subscribe to the city's three-container collection services per City code 6.45.030. Generator will place source separated green container organic waste, including food waste, in the green container; source separated recyclable materials in the blue container; and gray container waste in the gray container. Applicant must ensure that they have subscribed to a recycling and organics recycling service level that is sufficient to allow all recyclables and organics to be collected from their property/business.

SPECIAL CONDITIONS OF APPROVAL

40. The applicant shall submit a revised landscape plan for review and approval by the Planning Division prior to the building permit issuance that eliminates artificial grass. The revised landscape plan shall be included with the building permit plans for the project.
41. The applicant shall plant one 24" box tree at the front yard between the front entry and the sidewalk. The applicant shall prepare a landscape and irrigation plan for review by, and subject to the approval of, the Planning Division as part of the building permit plan set.



Think deep. There are always ways to improve.

DATE: MAY 28, 2021

INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN

DESIGN PROFESSIONAL

3626 Geary Blvd, Suite 203
San Francisco, CA 94118
Phone: (415) 702-6889
Email: Inconndesign@gmail.com

PROJECT FOR:

73 Spruce Street
Millbrae, CA 94030

Project Description

The proposed application at 73 Spruce Street is to demolish the existing single-story building in order to erect a 3-story single-family home with 2 covered parking spaces (in compliance with Total Living Area per Parking Guidelines) in the Zoning District R-2.

The new building design will strictly comply with the City of Millbrae Planning Department's design guidelines—the building is setback 3'-0" at each side and 20'-0" at the front; the lot coverage does not exceed 50%; the floor-area ratio does not exceed 88%; the building height does not exceed 30'-0"; and the rear 1/3 of the lot is to be used for open space.

The design of this new single-family home takes Millbrae's Residential Design Review into consideration with varying roof heights, styles, and slopes. The second floor features a slight overhang and recessed entrance, while the third floor features a recessed design to minimize the appearance of a tall structure. The architectural features of this new building reduces the bulky appearance by using materials such as horizontal siding exterior finish in conjunction with smooth stucco.

Sincerely,

InnCon Design Team



Think deep. There are always ways to improve.

DATE: JUNE 6, 2022

INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN

DESIGN PROFESSIONAL

3626 Geary Blvd, Suite 203
San Francisco, CA 94118
Phone: (415) 702-6889
Email: Inconndesign@gmail.com

PROJECT FOR:

73 Spruce Street
Millbrae, CA 94030

Dear Planning Commission,

Background

The following letter is written in regards to the proposed project at 73 Spruce Street, Millbrae CA 94030, APN: 021-302-220. The proposed project is to construct a new three-story single-family home. On behalf of the owners, they would like to request an Exception due to the proposed roof eaves encroaching one foot into the required minimum side set back of three feet on both sides of the property. All exterior walls will comply with the three feet side setback and only the one foot roof eaves would encroach into the side setback.

The proposed building will be situated on a non-conforming lot due to the width being twenty-five feet, as it does not meet the minimum required lot size based on MMC 10.05.0720 of fifty feet.

Reasonings and Discussions

An Exception is being requested due to the proposed building being situated on a narrow non-conforming lot. Due to the narrow lot width, the building's overall usage and practicality is greatly limited and reduced. With the exterior building walls complying with the side setback, there is just sufficient width required for a garage, hallway and interior staircase on the 1st Floor. Any changes to the width of the building or the current proposed interior layout, it would create a much narrower interior environment and some spaces unusable. The roof eave was design to have similar characteristic of the surrounding buildings in the neighborhood as well as functionality. These roof eaves also provide the necessary attic ventilation required and helps control and divert storm water runoff.

Findings

The exceptions application materials shall be evaluated by the planning commission in relation to the following finds required in order to approve any exception:

1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site (73 Spruce Street) is located will not, under the circumstance of the particular case, be detrimental to property and improvement existing upon any abutting parcel; and
2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site (73 Spruce Street) is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.

Sincerely,

InnCon Design



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for building a new structure (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

07.15.2021

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Corinne Drumn, own the property located at 85 Spruce St. On 07 / 15 / 2021, the above proposal was shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Corinne Drumn
Signature

7/31/21
Date

☐ I oppose the proposal as shown to me

Signature

Date

Corinne Drumn

cdrumn@sbcglobal.net

Name

Email

650 455 0631
Contact Number

Comments (optional):

It will be a nice enhancement to the neighborhood.

November 2017



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for building a new structure (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

RECEIVED

07/01/2020

Date

JUL 20 2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

CITY OF MILLBRAE

PLANNING DIVISION

(Adjacent property owner to complete the following)

I, ANGELINE LEON, own the property located

337 CEDAR ST, MILLBRAE, CA 94030. On / / , the above proposal was

shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Signature

Date

6/7/21

☐ I oppose the proposal as shown to me

Conditional support of proposal:

The owner, Miss Fiona Lee of proposed development mentioned in this form, shall give undertaking in writing to me that in the event of any damage to my land property and house structure and any structural and non structural finishing and fixtures in my house due to

a) vibration from demolition and new construction at 73 Spruce Street
b) ground settlement at my car porch, pavement, fencing and building settlement due to ground water drawdown caused by the demolition and construction of new building at 73 Spruce Street

The owner, Miss Fiona Lee and / or the builder engaged by Miss Fiona Lee, shall compensate me for the cost of repair to any damages to my property, and house structure and any structural and non structural finishing and replacement of damaged fixtures in my house.

November



Think deep. There are always ways to improve.

DATE: MAY 28, 2021

INNOVATIVE CONSTRUCTION IMPLEMENT & DESIGN

DESIGN PROFESSIONAL

3626 Geary Blvd, Suite 203
San Francisco, CA 94118
Phone: (415) 702-6889
Email: innconndesign@gmail.com

PROJECT FOR:

73 Spruce Street
Millbrae, CA 94030

Design Review for New Build Construction

Dear Neighbor,

This letter is to serve as a second notification for the revised architectural project of 73 Spruce Street in the Zoning District R-2.

The proposed application is to demolish the existing single-story building in order to erect a 3-story single-family home with two covered parking spaces (in compliance with Total Living Area per Parking Guidelines). The new building design will strictly comply with the City of Millbrae Planning Department's design guidelines—the building is setback 3'-0" at each side and 20'-0" at the front; the lot coverage does not exceed 50%; floor area ratio does not exceed 88%; the building height does not exceed 30'-0"; the rear 1/3 of the lot is to be used for open space.

The project is not designed to be an inconvenience to the neighbors or to the city's general welfare by meeting most of the requirements by the Zoning Ordinance. There is no substantial impact in regards to the obstruction of direct sunlight, privacy, or view to the adjacent dwellings.

After looking over the project's Site Plan, we kindly prompt you to review and sign the attached form **Proof of Adjacent Owner Consultation** as your input is important to us and the City of Millbrae. You may submit the physical copy via mail with the pre-stamped envelope included, or you may scan the form and email it to us. If you have any questions, please do not hesitate to contact us for further information. All contact information is listed above. Thank you.

Stay Healthy & Well,

InnCon Design Team



City of Millbrae
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, YIN KWAN -TAM, (owner/owner's agent), have met with the party listed below
regarding a PLANNING PERMIT (type of permit(s)) for
CREATE NEW THREE STORIES BUILDING (project description) at
73 SPRUCE ST (project location). I have fully explained the proposal and
answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Kenneth + Pilar Myers, own the property located at
339 CEDAR STREET. On 3 / 5 / 19, the above proposal was
shown to me and I received a copy of the plans.

☐ I support the proposal as shown to me.

Kenneth R Myers
Signature

3-5-19
Date

☒ I oppose the proposal as shown to me

Pilar Myers
Signature

3-5-19
Date

1.-Propose three story building not in conformity with
surrounding structures.which are two stories.

2.- propose structure is near a dangerous intersection Spruce
& Bay St. Where Lomita Park is located. Cars drive Very
rapidly endangering pedestrians and specially children.

3.- There is inadecuate parking for a three story building,
Spruce ST. Is very crowded.

4.- Too many investors/owners in this neighborhood. They
don't take care of the properties.

RECEIVED

MAR 7 2019

CITY OF MILLBRAE
PLANNING DIVISION

Kenneth R. Myers
339 Cedar St.
Millbrae, CA 94030
Tel. (650)872-3569

City Of Millbrae, CA
621 Magnolia Ave.
Millbrae, CA 94030
January 2, 2019

RECEIVED

Dear Sirs,

JAN - 2 2019
I oppose the granting of the building permit for the property located at 73 Spruce St., Millbrae, CA for the following reasons:

City of Millbrae

- 1.- The proposed structures is three stories high. Much higher than the surrounding structures and conflicting with Millbrae's building code for that area which permits structures of only two levels.
- 2.- The soil under the proposed structure is essentially mud. When you dig down three feet you meet water. Such land would not support a three story structure.
- 3.- No three storied structures exist in this area of Millbrae. Such a building would be out of place.
- 4.- The proposed lot for the build is very small and the building would be cramped.
- 5 There is insufficient parking provided for the tenants in the proposed structure. Parking is already difficult in that area of Millbrae and there is no room for more cars on the streets in tha area.
- 6.- The parking situation is further exacerbated by the failures of the builder to provide sufficient parking for the proposed tenants in the tiny structure planed

Yours truly,


Kenneth R. Myers

Response requested

- ① KENNETH MYERS, 339 CEDAR ST., MILLBRAE, CA. 94030
- ② CORINNE DRUMM, 2001 OAKMONT WAY #4, WALNUT CREEK CA 94595
- ③ SEE ATTACHED. DOCUMENTS.

Corinne Drumm
Owner: 85 Spruce St
cdrumn@sbcglobal.net
650 455 0631

Residence: 2001 Oakmont Way #4
Walnut Creek, CA 94595

H. FYI ☺

Did you get notice of a planning permit to build a duplex @ 73 Spruce?

I'm not against new construction, but I returned my form marked

☒ I oppose the proposal as shown to me

I've enclosed a few pieces of research I did.

I also contacted the city to ask them to keep me in the loop to be advised of planning meetings.

Corinne Drumm

FOR DISCUSSION WITH THE NEIGHBORS AND FOR YOUR INFORMATION:

1. The FAR for R2 is a maximum of 88%. The proposed home is 95.84%. I do not believe the property qualifies for an exception because the lot slope is not more than 30%.
2. The proposed structure is 27', which is 2' higher than allowed for non-sloped roofs. A variance would be required to allow the
3. The setbacks are insufficient. For a duplex, the following set backs are required:
 - * FRONT - 20' is required (plan is compliant at 20')
 - * REAR - 15' is required (plan is compliant at 16')
 - * SIDE - 5' is required, but it can be reduced to 10% of the lot width but in no case less than 3'. (Plan is for 3', but the distance from the neighboring property at 85 Spruce may be less than 3', which could be a problem under the California Building Code for fire safety).
4. For duplexes, there must be 1,000 sq.ft of open and uncovered space. (The plan proposes 400 sq.ft)
5. The R2 lot width minimum is 50' and the area is 5,000 sq.ft. 73 Spruce is 25' wide and 2,500 sq.ft. In an R2 zone permitted uses are single family, duplexes, and triplexes, depending on your lot configuration. Even though the lot is in the R2 zone, the lot size is too small to support a duplex.
6. 2 garage spaces are required per unit. For a duplex, for GARAGE spaces are needed. The automated lift is not practical and will result in the owners not parking their cars in the garage. The plan also proposes to excavate for the garage. A soil study is needed to determine the stability as the area is on fill.

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62 SPRUCE ST.
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MILLBRAE, CA 94030-2029

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage \$1.20

Total Postage and Fees \$4.80

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337 CEDAR ST.
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MILLBRAE, CA 94030-2004

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Total Postage and Fees \$4.80

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Postage \$1.20

Total Postage and Fees \$4.80

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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FIONA LEE
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3626 GEARY BLVD. #203
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SAN FRANCISCO, CA 94118-3278

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Postage \$1.20

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Extra Services & Fees (check box, add fee as appropriate)

Postage \$1.20

Total Postage and Fees \$4.80

Sent To
OCCUPANT
Street and Apt. No., or PO Box No.
339 CEDAR ST.
City, State, ZIP+4®
MILLBRAE, CA 94030-2004

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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MAY 28 2021
GOLDEN GATE STATION
SAN FRANCISCO, CA 94118



City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER
Mayor

ANNE OLIVA
Vice Mayor

GINA PAPAN
Councilmember

ANDERS FUNG
Councilmember

REUBEN D. HOLOBER
Councilmember

July 12, 2021

Kenneth R. Myers
339 Cedar Street
Millbrae, CA 94030

RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification

Dear Mr. Myers:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

A handwritten signature in cursive script, reading "Sam Fielding".

Sam Fielding
Senior Planner
sfielding@ci.millbrae.ca.us
650-259-2336



City of Millbrae

621 Magnolia Avenue, Millbrae, CA 94030

ANN SCHNEIDER
Mayor

ANNE OLIVA
Vice Mayor

GINA PAPAN
Councilmember

ANDERS FUNG
Councilmember

REUBEN D. HOLOBER
Councilmember

July 12, 2021

Angeline Leow
337 Cedar street
Millbrae, CA 94030

RE: 73 Spruce Street Proposed Design Review Notification

Dear Ms. Leow:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. We did not receive a reply from you and would like to confirm you were notified of the planned addition. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

A handwritten signature in cursive script that reads "Sam Fielding".

Sam Fielding
Senior Planner
sfielding@ci.millbrae.ca.us
650-259-2336



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REUBEN D. HOLOBER
Councilmember

July 12, 2021

Kelly and Corinne Drumn
2001 Oakmont Way, Apt. #4
Walnut Creek, CA 94595

RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification

Dear Ms. Drumn:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

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650-259-2336



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Vice Mayor

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Councilmember

ANDERS FUNG
Councilmember

REUBEN D. HOLOBER
Councilmember

July 12, 2021

Kendrick Watkins
70 Spruce Street
Millbrae, CA 94030

RE: 73 Spruce Street Proposed Design Review Notification

Dear Mr. Watkins:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. We did not receive a reply from you and would like to confirm you were notified of the planned addition. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

A handwritten signature in cursive script that reads "Sam Fielding".

Sam Fielding
Senior Planner
sfielding@ci.millbrae.ca.us
650-259-2336



City of Millbrae

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Mayor

ANNE OLIVA
Vice Mayor

GINA PAPAN
Councilmember

ANDERS FUNG
Councilmember

REUBEN D. HOLOBER
Councilmember

July 12, 2021

Jeanne M. Burns
150 Inverness Drive
San Francisco, CA 94132

RE: 73 Spruce Street, Millbrae: Proposed Design Review Notification

Dear Ms. Burns:

The planning department has reviewed an application for the demolition of a single-story, single family residence and construction of new three-story single family residence to the above referenced address in your neighborhood. The plans have been revised from previously proposed Duplex. We did not receive a reply from you and would like to confirm you were notified of the planned new single-family residence. If you have any questions please do not hesitate to contact me by July 16, 2021.

Sincerely,

A handwritten signature in cursive script that reads "Sam Fielding".









Sam Fielding
Senior Planner
sfielding@ci.millbrae.ca.us
650-259-2336














NEW BUILD
73 SPRUCE STREET
MILLBRAE, CALIFORNIA
APN 021-302-220

JOE ADAMS







APN: 021-302-220






[illegible]

OTHER LEGEND	
	AIRC-FAULT INTERRUPTER DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET
	GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (WATER RESISTANT) WALL WEATHER-USE ONLY
	EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE
	EXHAUST FAN - 50 CFM MIN. - VENTED TO OUTSIDE VAPOR PROOF LIGHT & 6" AIR BLOWING
	EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
	WALL MOUNTED FLUORESCENT LIGHT FIXTURE
	SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE

	SURFACE MOUNTED NON-GLARE LIGHT FIXTURE
	SUPERFUSED NON-GLARE LIGHT FIXTURE
	RECESSED NON-GLARE LIGHT FIXTURE
	RECESSED FLUORESCENT LIGHT FIXTURE
	UNDER CABINET FLUORESCENT LIGHT FIXTURE
	1/4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	PHOTO SENSOR CONTROLLED LIGHT FIXTURE
	SINGLE SWITCH
	3-WAY SWITCH
	DIMMER SWITCH WITH DIMMER CONTROL
	OCCUPANCY SENSOR SWITCH MANUAL ON/OFF
	MOTION SENSOR SWITCH
	MOTOR/VENTILATOR SWITCH

☐ GAS SUPPLY VALVE
☒ BATTERY OPERATED SMOKE DETECTION
☐ SMOKE DETECTION, AC
☒ BATTERY OPERATED CARBON MONOXIDE ALARM
☐ CARBON MONOXIDE ALARM, AC
☒ HEAT REGISTER
☐ EXISTING DUCT
☐ PROPOSED NEW DUCT

	POINT OF CONNECTION
	UP TO NEXT LEVEL
	DOWN TO NEXT LEVEL
	WATER HEATER
	SKYLIGHT
	FLOOR RECEPTACLE OUTLET

SYMBOLS	
	SECTION NO.
	SHEET 1 OF 2
	DETAIL
	SHEET NO.
	KEY NOTES NO.

Site plan showing the proposed 18' Spruce Street lot. The plan includes labels for 'ADJACENT PROPERTY' on both sides of Spruce Street, 'SUBJECT PROPERTY' with dimensions, and 'SPRUCES ST'. It also shows a 'REAR YARD' and various features like 'FENCE GATE', 'ADJ. PLANTER', and 'ADJ. MAIL BOX'. A north arrow and a scale bar are included.

(E) SITE PLAN

1/8" = 1'-0"

***THE LOT & DATA/NO INFORMATION AND DISCLOSURE GIVEN ON THIS PLAN AREA APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OR THE PROPERTY.

EXISTING CONDITIONS		PROPOSED CONDITIONS	
EXISTING FLOOR AREA	1,201 SQ FT	EXISTING FLOOR AREA	1,201 SQ FT
LOT COVERAGE:	1.00% SQ FT. (40.04%)	LOT COVERAGE:	0.75% SQ FT. (30.04%)
FLOOR AREA RATIO	40.04%	FLOOR AREA RATIO	48.02%

APPLICABLE CODE

LIST OF DRAWINGS	
A1.0	COVER SHEET, SITE PLAN, GENERAL NOTES, VICINITY MAP.
A1.1	LEGEND, PROPERTY INFO, SCOPE OF WORK
A1.2	EXISTING SITE PHOTOGRAPH
A2.0	FLOOR PLAN AND DEMOLITION DIAGRAM
A2.1	FLOOR PLAN

WATER CONSERVATION REQ.

1. PROVIDED MAXIMUM 1.8 GALLONS PER MINUTE @ 90 PSI FOR BIRD, 10 HEADS
2. PROVIDED MAXIMUM 1.20 GALLONS PER MINUTE @ 90 PSI FOR 100 BIRDS
3. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR TANK-TYPE WATER CLOSET
4. PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR FLUSH-TOILET WATER CLOSET

[illegible]

HORIZONTAL	□	AT	DIAMETER
HEIGHT	□	AT	FOUND OF NUMBER
INSTR.	□	AT	
INT.	□	AT	
KITCHEN	□	AT	
LAVATORY	□	AT	
LAV.	□	AT	
L.T.	□	AT	
MAV.	□	AT	
MASSUMI	□	AT	

GREEN BUILDING STANDARDS
CODE - RESIDENTIAL

[illegible]

WILLIAM TAM
73 SPRUCE STREET
MILLBURN, CA 94030

SPECIAL OPERATIONS & T-24 ENERGY COMPLIANCE TEAM
SPECIAL OPERATIONS
3696 GEARY BLVD, SUITE 203
SAN FRANCISCO, CA 94118
(415) 762-9977

BL/DEL
NO

4. A MINIMUM 1/2" WALL IS REQUIRED BETWEEN THE GARAGE AND THE BATH. THE GARAGE SIDE SHEATHING SHALL BE MINIMUM 5/8" TYPE X.
5. DOOR OPENING TO GARAGES MUST BE A MINIMUM OF 1' X 8' SOLID CORE, SELF-CLOSING AND SELF-LATCHING. THE DOOR MUST HAVE 1" MINIMUM EDGES. DOORS SHALL NOT SWING OVER STEPS OR LANDINGS.
6. ANY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. OPENING SHALL HAVE A MINIMUM NET CLEARANCE OF 20" AND A MINIMUM NET FREE HEIGHT OF 20" ABOVE THE FINISHED FLOOR.

9. ENDOSE DETECTORS SHALL NOT BE REQUIRED.
10. ENDOSE DETECTORS SHALL BE REQUIRED IN ALL AREAS LEADING INTO THE REDWOOD AND/OR UNFINISHED AREAS.
11. BRONCHES MESHING STRAPPING TO HAVING HOT WATER HEATER HAS FLUANCES. HABITABLE SPACES SHALL BE PROVIDED WITH FORTION OF PASSIVE SPACE HABITABLE SYSTEMS CAPABLE OF MAINTAINING TEMPERATURE OF 68°F AT A MINIMUM OF 3 FEET ABOVE THE FLOOR AND 18 INCHES ABOVE THE CEILING. UNFINISHED AREAS SHALL BE PRESSURE TREATED WOOD OR REDWOOD.

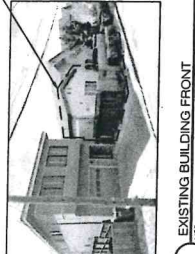
4. RECEPTACLE SHALL BE LOCATED AS TO APPROXIMATE WALL BE NEAREST LOCATED TO ANY RECEPTACLE OUTLET. IT MAY BE LOCATED ON ANY WALL, INCLUDING THE WALLS OF THE RECEPTACLE OUTLET.

10. ALL HALLWAYS SHALL BE EQUIPPED WITH 20 AMP THROUGHS, DAMPERS AND A/GA OUTSIDE OF THE RESIDENCE. ALL 120 VOLT, 20 AMP THROUGHS SHALL BE RESIDED.
11. ALL WIRING SHALL BE COPPER CONDUCT.
12. ALL WIRING SHALL BE COPPER CONDUCT.

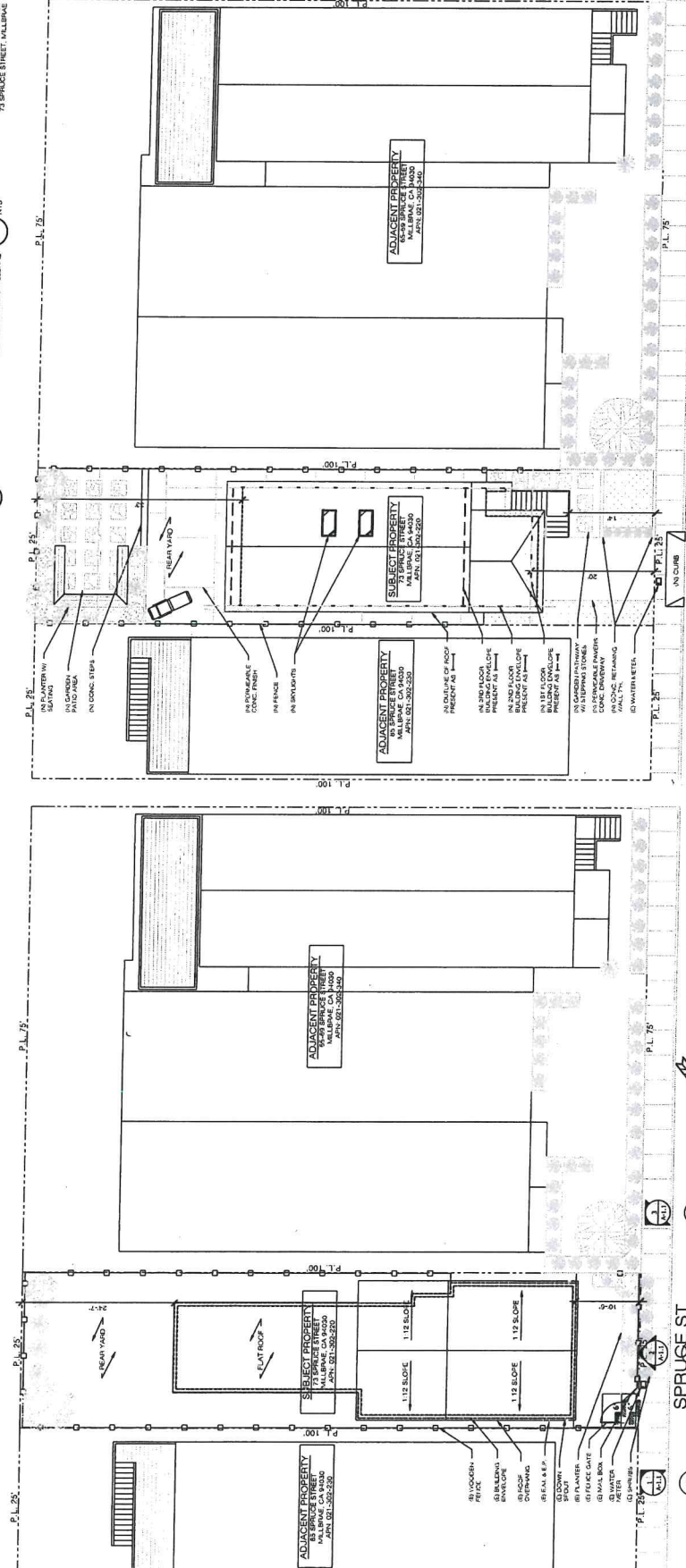
10. SHOWER GAS CANNOT DISCHARGE DIRECTLY AT EARTHQUAKE.
11. SHOWER DRAIN SHALL OPEN OUTWARD AND SHALL BE MINIMUM 2-INCHES WIDE.
12. SHOWER SHALL BE SIZED TO SUFFICIENT GAS TO THE APPLIANCE. THE GAS PIPING SHALL BE SIZED TO 10 LBS OF GAS PRESSURE FOR A MINIMUM OF 13.9 PSI.
13. ALL GAS VALVES SHALL BE READILY ACCESSIBLE AND BE WITHIN 3' OF THE APPLIANCE. FLEXIBLE GAS CONNECTS MAY NOT BE CONCEALED ON PAGES THROUGH ANY FLOOR, WALL OR CEILING.
14. AN AIR-GAS VALVE SHALL BE INSTALLED AT EACH GAS OUTLET.

3. MECHANICAL VENTILATION SHALL BE REQUIRED. PAN EXHAUST SHOULD BE 3-FEET FROM BUILDING OPENINGS AND PROXIMITY LINES FOR NATURAL VENTILATION, AN OPERABLE WINDOW.
4. PAN EXHAUST LOC 75 FEET FROM 15 TO 30 FEET ABOVE AREA.
5. PAN EXHAUST LOC 75 FEET TO 100 FEET FROM MINIMUM VERTICAL CLEARANCE OF 24' ABOVE A RANGE OF COOK TOP TO A DUAL IN MICROWAVE WHEN REQUIRED.
6. MECHANICAL VENTILATION IS REQUIRED IN THE KITCHEN. MECHANICAL VENTILATION SHALL BE LOCATED WITH A NET FREE AREA OF 1.5 SQUARE FEET PER LINEAL FOOT OF COOK TOP.

5. FROM AN ADJACENT ROOM.
6. CLIMATE CONTROL EXHAUST SHALL BE ENERGY STAR COMPLIANT
7. CLIMATE CONTROL EXHAUST SHALL HAVE A WATER FACTOR EQUAL TO OR LESS THAN 0.5 (DOE/NC 16-20-079)
8. CLIMATE CONTROL EXHAUST SHALL HAVE A WATER FACTOR EQUAL TO OR LESS THAN 0.5 (DOE/NC 16-20-079)
9. CLIMATE CONTROL EXHAUST SHALL HAVE A WATER FACTOR EQUAL TO OR LESS THAN 0.5 (DOE/NC 16-20-079)

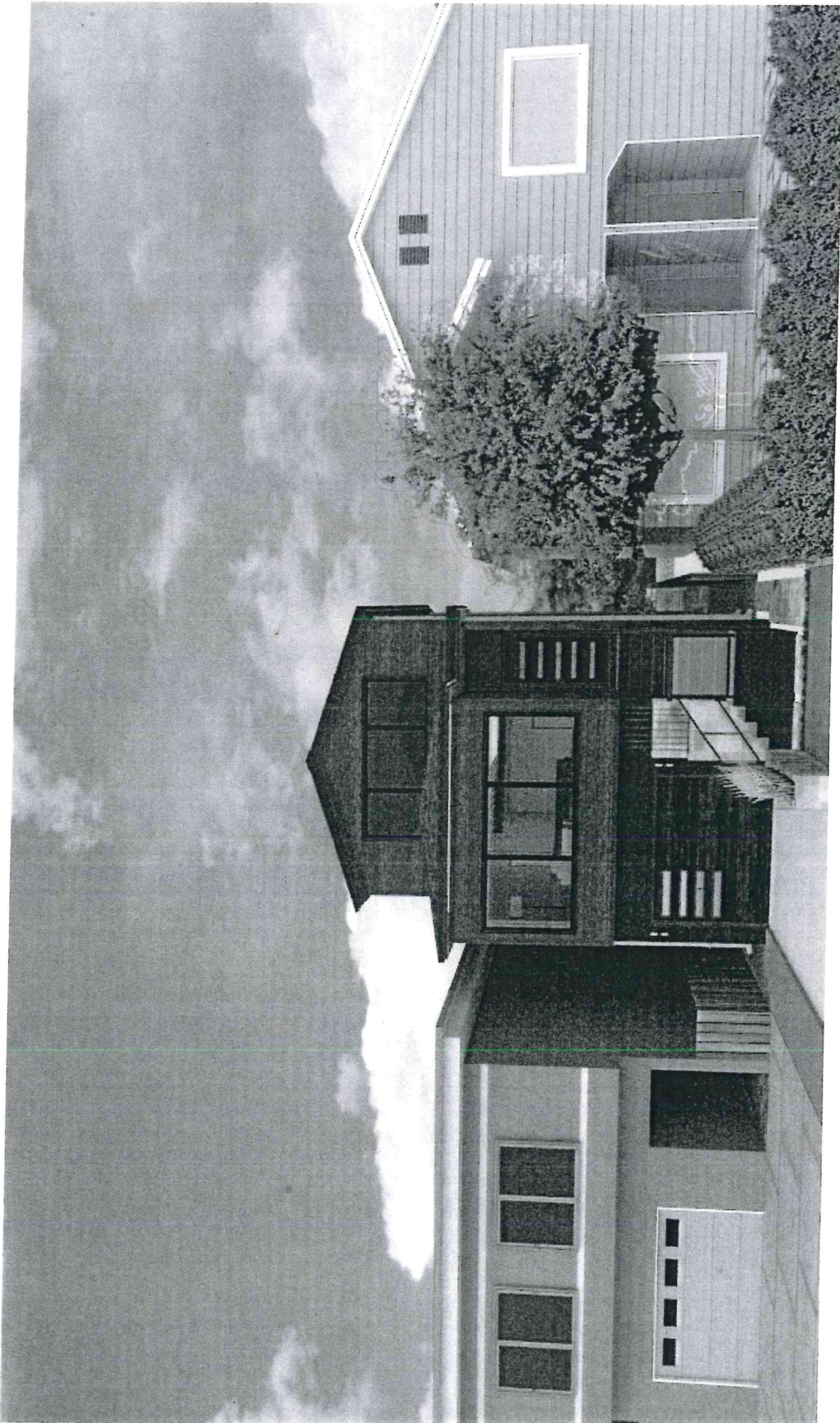


EXISTING BUILDING FRONT
NTS
73 SPADUCE STREET, MILLBORO



(E) SITE PLAN

1/0 1 0 1 0





City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for constructing a new single-family home (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

Date

05.28.2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Kenneth R Ingers, own the property located at 339 CEDAR ST.. On 6/11/21, the above proposal was shown to me and I received a copy of the plans.

SELECT ONE

☐ I support the proposal as shown to me.

☒ I oppose the proposal as shown to me

Signature

Date

6/11/21

Signature

Date

Kenneth R Ingers

Email

(650) 872-3569

Contact Number

Comments (optional):

we object to height (proposal) of 3 story building.
new structure should not exceed 2 stories
Inadequate parking. more parking spaces needed
This neighborhood full of extra cars. Too crowded

November 2017



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Fiona Lee, (owner/owner's agent), have met with the party listed below regarding a Demolition & New Construction (type of permit(s)) for constructing a new single-family home (project description) at 73 Spruce Street (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature [Signature] Date 05.28.2021

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, ANGELINE LEON, own the property located at 337 CEDAR ST.. On / / , the above proposal was shown to me and I received a copy of the plans.

☒ I support the proposal as shown to me.

Signature [Signature]

Date 6/7/21

☐ I oppose the proposal as shown to me

Signature _____

Date _____

Name _____

Email _____

Contact Number _____

Comments (optional): CONDITIONAL SUPPORT OF PROPOSAL

IN THE EVENT OF ANY DAMAGE TO MY LAND, PROPERTY & HOUSE STRUCTURE, AND ANY STRUCTURAL & NON-STRUCTURAL FINISHING & FIXTURES IN MY HOUSE DUE TO: (1) VIBRATION FROM DEMOLITION AND NEW CONSTRUCTION AT 73 SPRUCE STREET (2) GROUND SETTLEMENT AT MY CAR PORCH, PAVEMENT, FENCING AND BUILDING SETTLEMENT DUE TO GROUND WATER DRAWDOWN CAUSED BY THE DEMOLITION AND CONSTRUCTION OF NEW BUILDING AT 73 SPRUCE STREET, I SHALL BE COMPENSATED FOR THE COST REPAIR TO ANY DAMAGES TO MY PROPERTY & HOUSE STRUCTURE, AND ANY STRUCTURAL & NON-STRUCTURAL FINISHING AND REPLACEMENT OF DAMAGED FIXTURES IN MY HOUSE.

November 2017

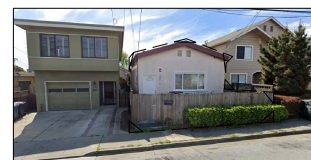
73 SPRUCE ST. MILLBRAE, CA

SITE PHOTOGRAPHS

KEY MAP



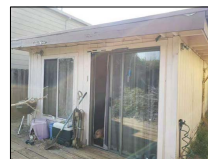
1 EXISTING BUILDING SIDE
NTS
73 SPRUCE STREET, MILLBRAE



2 EXISTING BUILDING FRONT
NTS
73 SPRUCE STREET, MILLBRAE



3 EXISTING BUILDING SIDE
NTS
73 SPRUCE STREET, MILLBRAE



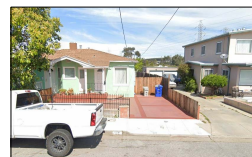
4 EXISTING BUILDING REAR
NTS
73 SPRUCE STREET, MILLBRAE



5 ADJACENT BUILDING FRONT
NTS
85 SPRUCE STREET, MILLBRAE



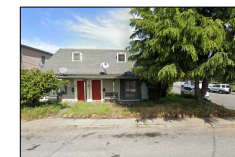
6 ADJACENT BUILDING FRONT
NTS
65-69 SPRUCE STREET, MILLBRAE




7 ACROSS THE STREET
NTS
62-66 SPRUCE STREET, MILLBRAE



8 ACROSS THE STREET
NTS
70-76 SPRUCE STREET, MILLBRAE



9 ACROSS THE STREET
NTS
80 SPRUCE STREET, MILLBRAE



INNCON
DESIGN

Think deep. There is always a better way.

SUBSIDIARY OF INNOVATIVE
CONSTRUCTION IMPLEMENT & DESIGN CO.
INNCON DESIGN ELECTRIC.

Address: 3626 GEARY BLVD, SUITE 203, 204
SAN FRANCISCO, CA 94118
Tel: 415.702.6889
Email: INNCONDESIGN@GMAIL.COM

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
GENERAL NOTE,
SITE PLAN, COVER
SHEET, LEGEND,
VICINITY MAP

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021
DESIGNED: PETER CHOW	PROJECT NO. 200222
DRAWN: PETER CHOW	DATE: 03/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE: 2-D	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	
A1.0	
OF SHEETS	

GENERAL NOTES

BUILDING:

- MINIMUM CEILING HEIGHT IS 7'-6" CLEAR, FROM FINISH FLOOR TO THE FINISHED CEILING
- INSULATION IS REQUIRED TO BE INSTALLED IN ALL WALLS, FLOORS AND CEILINGS OPEN FOR CONSTRUCTION BETWEEN HABITABLE SPACE AND NON-HABITABLE SPACE, SUCH AS EXTERIORS, GARAGES CRAWL SPACES AND ATTICS. TYPE OR INSULATION REQUIRED:
WALLS: 2x4 R-13 OR 2x6 R-19
CEILING: R-30
FLOOR: R-19
- A MODIFIED 1-HR WALL IS REQUIRED BETWEEN THE GARAGE AND THE BATH. THE GARAGE-SIDE SHEETROCK SHALL BE MINIMUM 5/8" TYPE-X
- DOOR OPENING TO GARAGES MUST BE A MINIMUM OF 1 1/2" SOLID CORE, SELF-CLOSING AND SELF-LATCHING. THE DOOR MUST BE ON ALL FOUR EDGES. DOORS SHALL NOT SWING OVER STEPS OR LANDINGS
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. OPENING SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR, THE NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET MINIMUM (GRADE FLOOR OPENINGS MAY HAVE A NET CLEAR OPENING OF 5.0 SQUARE FEET MINIMUM), AND THE NET CLEAR HEIGHT SHALL BE 24 INCHES MINIMUM, AND THE NET CLEAR WIDTH SHALL BE 20 INCHES MINIMUM
- WINDOWS WITHIN THE TUB/SHOWER ENCLOSURE AND THE BOTTOM EXPOSED EDGE IS LESS THAN 60-INCHES ABOVE THE DRAIN INLET SHALL BE SAFETY GLAZING
- MATERIAL APPROVED FOR USE WITHIN THE TUB OR SHOWER COMPARTMENT SHALL BE CEMENT BOARD, FIBER CEMENT OR GLASS MAT OVER A MOISTURE BARRIER AND WITH CORROSION-RESISTANT FASTENERS. NO GYPSUM PRODUCTS. EXCEPTION: INSTALLATION OF MOLDED ONE-PIECE ENCLOSURES MAY BE INSTALLED OVER MOISTURE RESISTANT GYPSUM BOARD
- SMOKE DETECTORS WILL BE REQUIRED
- CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR
- PROVIDE SEISMIC STRAPPING TO FRAMING FOR WATER HEATER AND FURNACES. HABITABLE SPACES SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR ON A DESIGN HEATING DAY
- ALL EXPOSED WOOD MEMBERS SHALL BE PRESSURE TREATED WOOD OR REDWOOD
- ALL HARDWARE AND FASTENER EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED

PROPERTY INFORMATION

ADDRESS: 73 SPRUCE STREET
MILLBRAE CA 94030

PARCEL APN: 021-302-220

CENSUS TRACT: 6044

CONSTRUCTION TYPE: V-B

ZONING: R-2

OCCUPANCY: R3U

PARCEL AREA: ± 2,500 SQ. FT.

EXISTING CONDITIONS:

GROSS FLOOR AREA:	± 1,001 SQ.FT.
LOT COVERAGE:	± 1,001 SQ.FT. (40.04%)
FLOOR AREA RATIO:	40.04%

PROPOSED CONDITIONS:

GROSS FLOOR AREA:	± 2,200 SQ.FT.
LOT COVERAGE:	± 976 SQ.FT. (39.04%)
FLOOR AREA RATIO:	88.00%

APPLICABLE CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA GREEN BUILDING STANDARD CODE

SCOPE OF WORK

1) DEMOLISH EXISTING 1-STORY BUILDING

2) ERECT 3-STORY BUILDING WITH 1 UNIT.

LIST OF DRAWINGS

A1.0	COVER SHEET, SITE PLAN, GENERAL NOTES, VICINITY MAP, LEGEND, PROPERTY INFO, SCOPE OF WORK
A1.1	SITE PLAN AND PHOTOGRAPH
A2.0	FLOOR PLAN AND DEMOLITION DIAGRAM
A2.1	FLOOR PLAN
A2.2	ROOF PLAN
A2.3	LANDSCAPE PLAN
A3.0	DETAILS
A3.1	DETAILS
A4.0	ELEVATION
A4.1	ELEVATION
A4.2	ELEVATION
A4.3	ELEVATION
A5.0	SECTION
A6.0	WINDOW AND DOOR SCHEDULE
A7.0	3-D RENDER

WATER CONSERVATION REQ.

- PROVIDED MAXIMUM 1.8 GALLONS PER MINUTE @ 80 PSI FOR SHOWER HEADS
- PROVIDED MAXIMUM 1.20 GALLONS PER MINUTE @ 60 PSI FOR LAVATORY FAUCETS
- PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR TANK-TYPE WATER CLOSET
- PROVIDED MAXIMUM 1.28 GALLONS PER MINUTE FOR FLUSHOMETER WATER CLOSET
- PROVIDED MAXIMUM 0.125 GALLONS PER MINUTE FOR URINALS
- PROVIDED MAXIMUM 1.80 GALLONS PER MINUTE @ 60 PSI FOR KITCHEN FAUCETS

ABBREVIATIONS:

ABV.	ABOVE	MIN.	MINIMUM
A.F.F.	ABOVE FINISH FLOOR	MISC.	MISCELLANEOUS
BEL.	BELOW	N' OR (N)	NEW
BLK.	BLACK	N.T.S.	NOT TO SCALE
BLKG.	BLOCKING	O.C.	ON CENTER
BM.	BEAM	OPNG.	OPENING
BOT.	BOTTOM	OPPOSITE	OPPOSITE
CLOT.	CEILING	PLYWD.	PLYWOOD
CLO.	CLOSET	PT.	POINT
CLR.	CLEAR	REF.	REFRIGERATOR
CONC.	CONCRETE	R.A.	ROOF DRAIN
CONT.	CONTINUOUS	RM.	ROOM
CTR.	CENTER	S.	SINK
D.	DRYER	SCHED.	SCHEDULE
DBL.	DOUBLE	SHEET	SHEET
DET.	DETAIL	SIM.	SIMILAR
DIA.	DIAMETER	S.D.	SMOKE
DM.	DIMENSION	DETECTOR	
D.W.	DISH WASHER	SPEC.	SPECIFICATION
DR.	DOOR	SQ.	SQUARE
D.S.	DOWN SPOUT	S.S.	STAINLESS STEEL
E OR (E)	EXISTING	STORAGE	STORAGE
EA.	EACH	TYP.	TYPICAL
EQ.	EQUAL	U.O.N.A.	UNLESS OTHERWISE
F.	FURNACE	NOTED	
FIN.	FINISH	VERT.	VERTICAL
FLR.	FLOOR	V.I.F.	VERIFY IN FIELD
FT.	FOOT OR FEET	W.	WASHER
FTG.	FOOTING	W/	WITH
GRND.	GROUND	W.H.	WATER HEATER
GRD.	GRADE	W/O	WITHOUT
GYP.	GYPSUM	WT.	WEIGHT
HORIZ.	HORIZONTAL	@	AT
HGT.	HEIGHT	Ø	DIAMETER
INT.	INTERIOR	#	POUND OF NUMBER
KIT.	KITCHEN		
LAV.	LAVATORY		
LT.	LIGHT		
MAX.	MAXIMUM		

GREEN BUILDING STANDARDS
CODE - RESIDENTIAL

- BATHROOM EXHAUST FANS SHALL BE "ENERGY STAR" COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING (CGSBC 4.506.1.1)
- ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALL SHALL BE PROTECTED AGAINST PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS ACCEPTABLE TO THE ENFORCING AGENCY (CGSBC 40406.1).
- PROVIDE AN OPERATIONAL MAINTENANCE MANUAL OF ALL NEW EQUIPMENT INSTALLED TO THE BUILDING OCCUPANT OR THE OWNER (CGSBC 4.410.2).
- HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN PROPER INSTALLATION OF HVAC SYSTEMS (CGSBC 702.1).
- VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE (CGSBC 703.1)

PROJECT DIRECTORY

OWNER:
YIN KWAN TAM
73 SPRUCE STREET
MILLBRAE, CA 94030

DESIGN, ENGINEERING & T-24 ENERGY COMPLIANCE TEAM:
INNCON DESIGN
3626 GEARY BLVD, SUITE 203
SAN FRANCISCO, CA 94118
(415) 702-6889

BUILDER:
TBD

VICINITY MAP

N.T.S.

ADJACENT PROPERTY
85 SPRUCE STREET
MILLBRAE, CA 94030
APN: 021-302-230

SUBJECT PROPERTY
73 SPRUCE STREET
MILLBRAE, CA 94030
APN: 021-302-220

ADJACENT PROPERTY
65-69 SPRUCE STREET
MILLBRAE, CA 94030
APN: 021-302-340

SPRUCE ST

(E) SITE PLAN

1/8" = 1'-0"

0 2' 4' 6' 8' 20'

*THE LOT & DRAWING INFORMATION AND DIMENSION GIVEN ON THIS PLAN AREA APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OR THE PROPERTY.

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING NON-BEARING WALL TO BE REMOVED
- NEW PARTITION WALL
- WALL TO BE LEGALIZE
- NEW WALL BEARING WALL
- NEW CONCRETE WALL
- 1 HR. RATED WALL
- 2 HR. RATED WALL
- WALL WITH R13 INSULATION
- KEY NOTES

OTHER LEGEND

- ARC-FAULT INTERRUPTER DUPLEX OUTLET
- GROUND FAULT INTERRUPTED DUPLEX OUTLET
- GROUND FAULT INTERRUPTED DUPLEX OUTLET - WEATHER PROOF (TAMPER RESISTANT) w/ ALL WEATHER-USE COVER
- EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE
- EXHAUST FAN - 50 CFM MIN - VENTED TO OUTSIDE VAPOR PROOF LENSE & GFI AT SHOWERS
- EXHAUST FAN LIGHT COMBO - VENT TO OUTSIDE AIR
- WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- SURFACE MOUNTED FLUORESCENT CEILING LIGHT FIXTURE
- SURFACE MOUNTED INCANDESCENT CEILING LIGHT FIXTURE
- SUSPENDED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- RECESSED FLUORESCENT LIGHT FIXTURE
- HIGH EFFICACY RECESSED LED LIGHT FIXTURE
- UNDER CABINET FLUORESCENT LIGHT FIXTURE
- 1x4' SURFACE MOUNTED FLUORESCENT LIGHT
- PHOTO-MOTION CONTROLLED LIGHT FIXTURE
- SINGLE SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH WITH DIMMER CONTROL
- OCCUPANCY SENSOR SWITCH (MANUAL "ON" - AUTO "OFF")
- MOTION SENSOR SWITCH
- MOISTURE/STATE SWITCH
- GAS SUPPLY VALVE
- BATTERY OPERATED SMOKE DETECTOR
- SMOKE DETECTOR, AC
- BATTERY OPERATED CARBON MONOXIDE ALARM
- CARBON MONOXIDE ALARM, AC
- HEAT REGISTER
- EXISTING DUCT
- PROPOSED NEW DUCT
- POINT-OF-CONNECTION
- UP TO NEXT LEVEL
- DOWN TO NEXT LEVEL
- WATER HEATER
- SKYLIGHT
- FLOOR RECEPTACLE DUPLEX

SYMBOLS

- SECTION NO.
- SHEET NO.
- DETAIL
- SHEET NO.
- KEY NOTES NO.

A1.0



1 EXISTING BUILDING FRONT
NTS
73 SPRUCE STREET, MILLBRAE

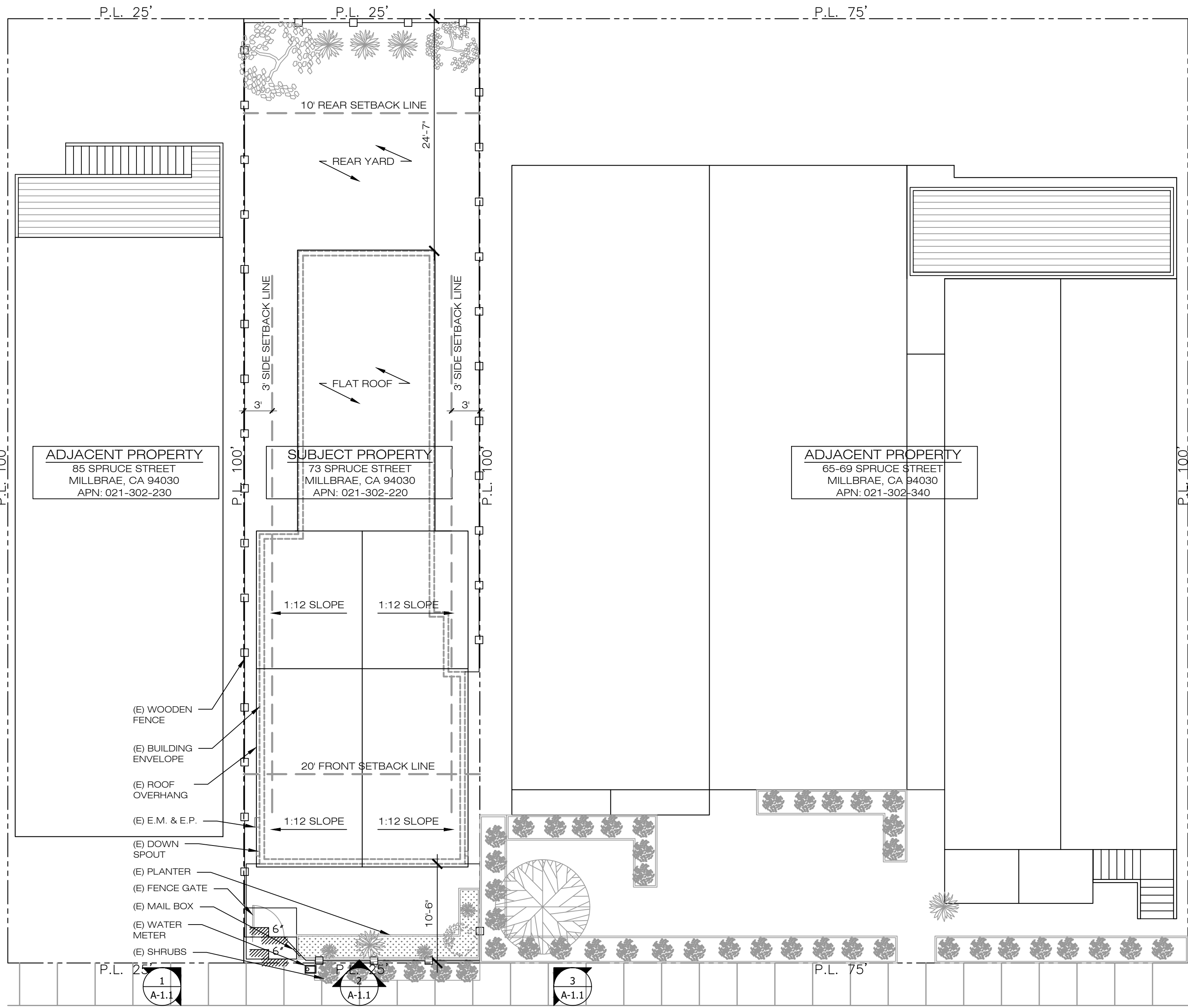
2 EXISTING BUILDING FRONT
NTS
73 SPRUCE STREET, MILLBRAE

3 EXISTING BUILDING FRONT
NTS
73 SPRUCE STREET, MILLBRAE

4 OPPOSITE STREET
NTS
73 SPRUCE STREET, MILLBRAE

5 OPPOSITE STREET
NTS
73 SPRUCE STREET, MILLBRAE

6 OPPOSITE STREET
NTS
73 SPRUCE STREET, MILLBRAE

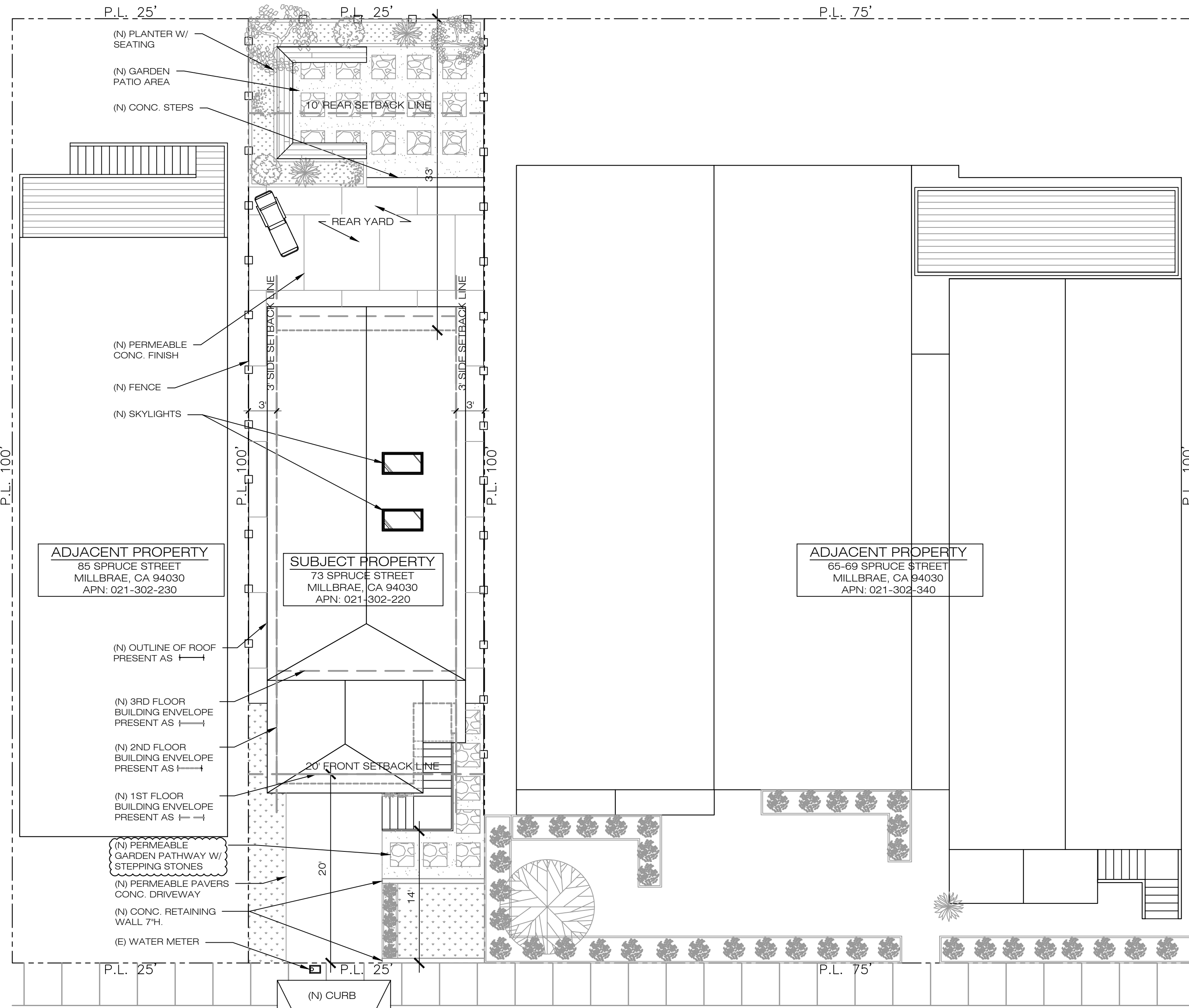


(E) SITE PLAN

1/8" = 1'-0"

**THE LOT & DRAWING INFORMATION AND DIMENSION GIVEN ON THIS PLAN AREA APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OR THE PROPERTY.

EXISTING SITE PLAN	SCALE: 1/8" = 1'-0"
2,500 SQ. FT. TOTAL PARCEL AREA	
604 SQ. FT. OF REAR OPEN SPACE	
263 SQ. FT. FRONT YARD AREA	
177 SQ. FT. (67%) PERMEABLE CONCRETE DRIVEWAY WITHIN FRONT YARD	
69 SQ. FT. (26%) LANDSCAPING WITHIN FRONT YARD	



(N) SITE PLAN

1/8" = 1'-0"

**THE LOT & DRAWING INFORMATION AND DIMENSION GIVEN ON THIS PLAN AREA APPROXIMATE AND ARE DERIVED FROM SITE MEASUREMENTS AND OBSERVATIONS. THIS IS NOT A LEGAL SURVEY OR THE PROPERTY.

PROPOSED SITE PLAN	SCALE: 1/8" = 1'-0"
2,500 SQ. FT. TOTAL PARCEL AREA	
1,058 SQ. FT. OF REAR OPEN SPACE	
500 SQ. FT. (20' x 25') FRONT YARD AREA	
193 SQ. FT. (39%) PERMEABLE CONCRETE DRIVEWAY WITHIN FRONT YARD	
250 SQ. FT. (50%) LANDSCAPING WITHIN FRONT YARD	

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
SITE PLAN AND
PHOTOGRAPH

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED: PETER CHOW	PROJECT NO. 200222
DRAWN: PETER CHOW	DATE: 03/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

A1.1
OF SHEETS

APPLICANT:
YIN KWAN TAM
73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
FLOOR PLAN AND
DEMOLITION
DIAGRAM

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

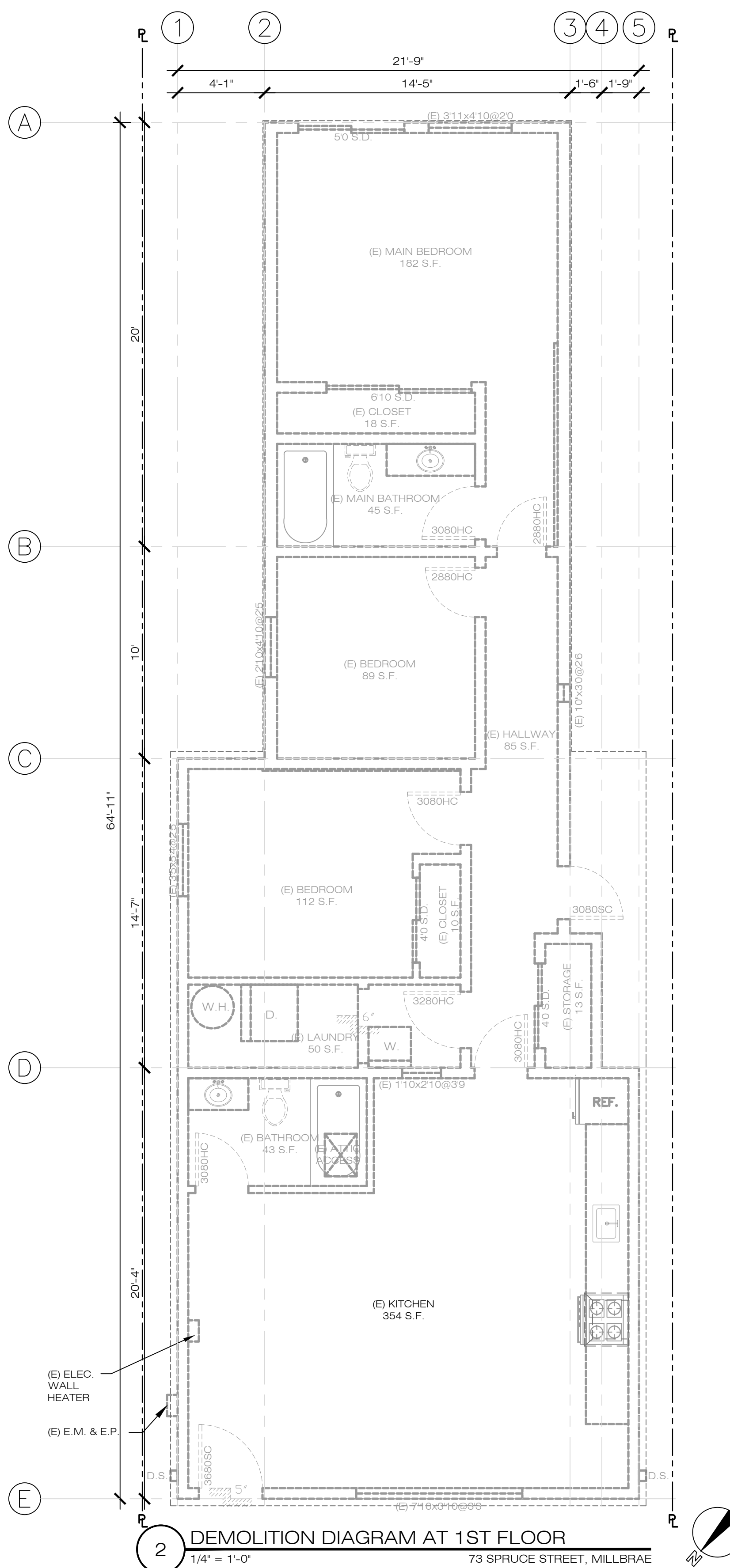
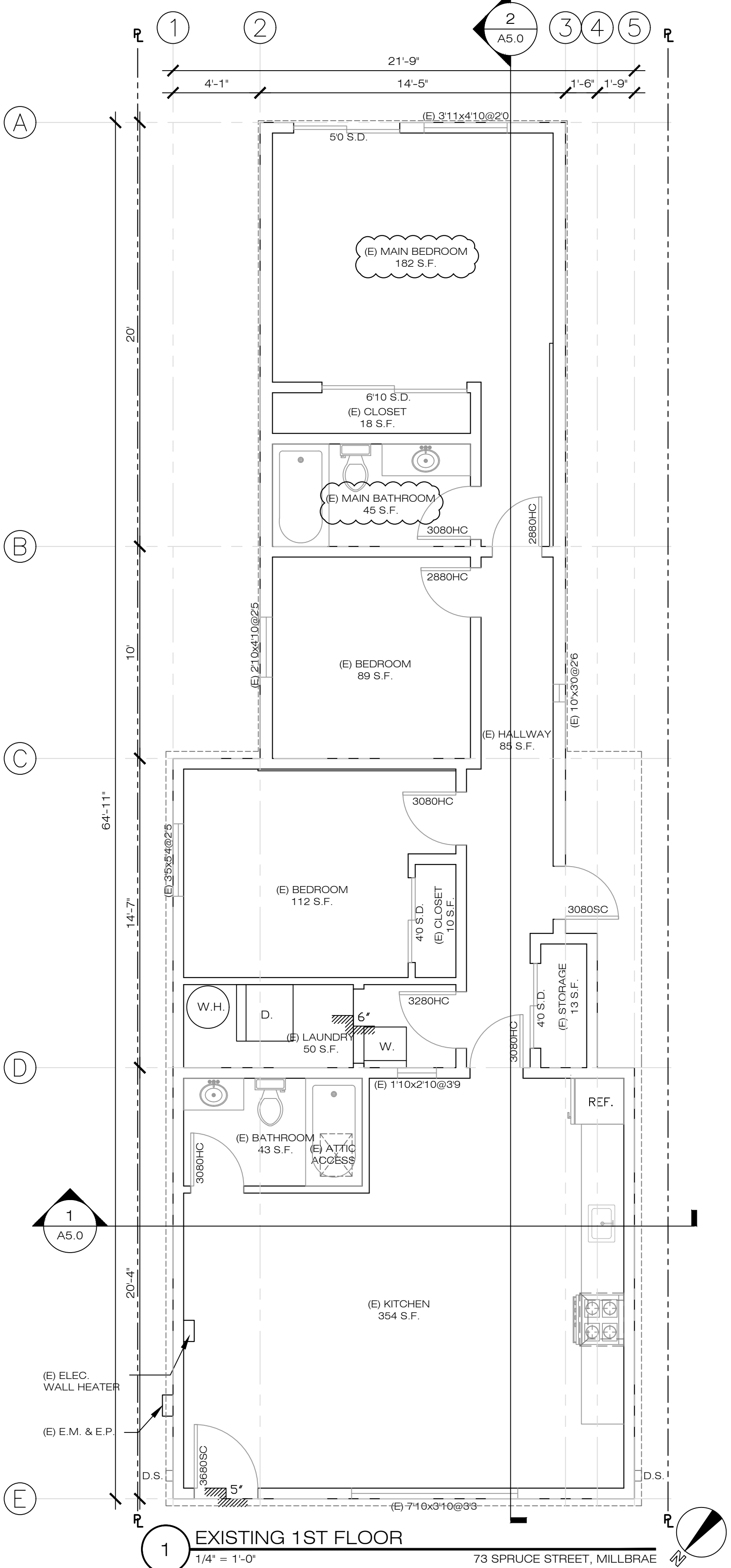
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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:

SHEET
A2.0
OF SHEETS

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING NON-BEARING WALL TO BE REMOVED
	NEW PARTITION WALL
	WALL TO BE LEGALIZE
	NEW WALL BEARING WALL
	NEW CONCRETE WALL
	1 HR. RATED WALL
	2 HR. RATED WALL
	WALL WITH R13 INSULATION
	KEY NOTES

EXISTING FLOOR AREA												
ROOM	MASTER BEDROOM	CLOSET	MASTER BATHROOM	BEDROOM	BEDROOM	HALLWAY	CLOSET	STORAGE	LAUNDRY	BATHROOM	KITCHEN	
AREA	182 S.F.	18 S.F.	45 S.F.	89 S.F.	112 S.F.	85 S.F.	10 S.F.	13 S.F.	50 S.F.	43 S.F.	354 S.F.	
TOTAL : 1,001 S.F.												



APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

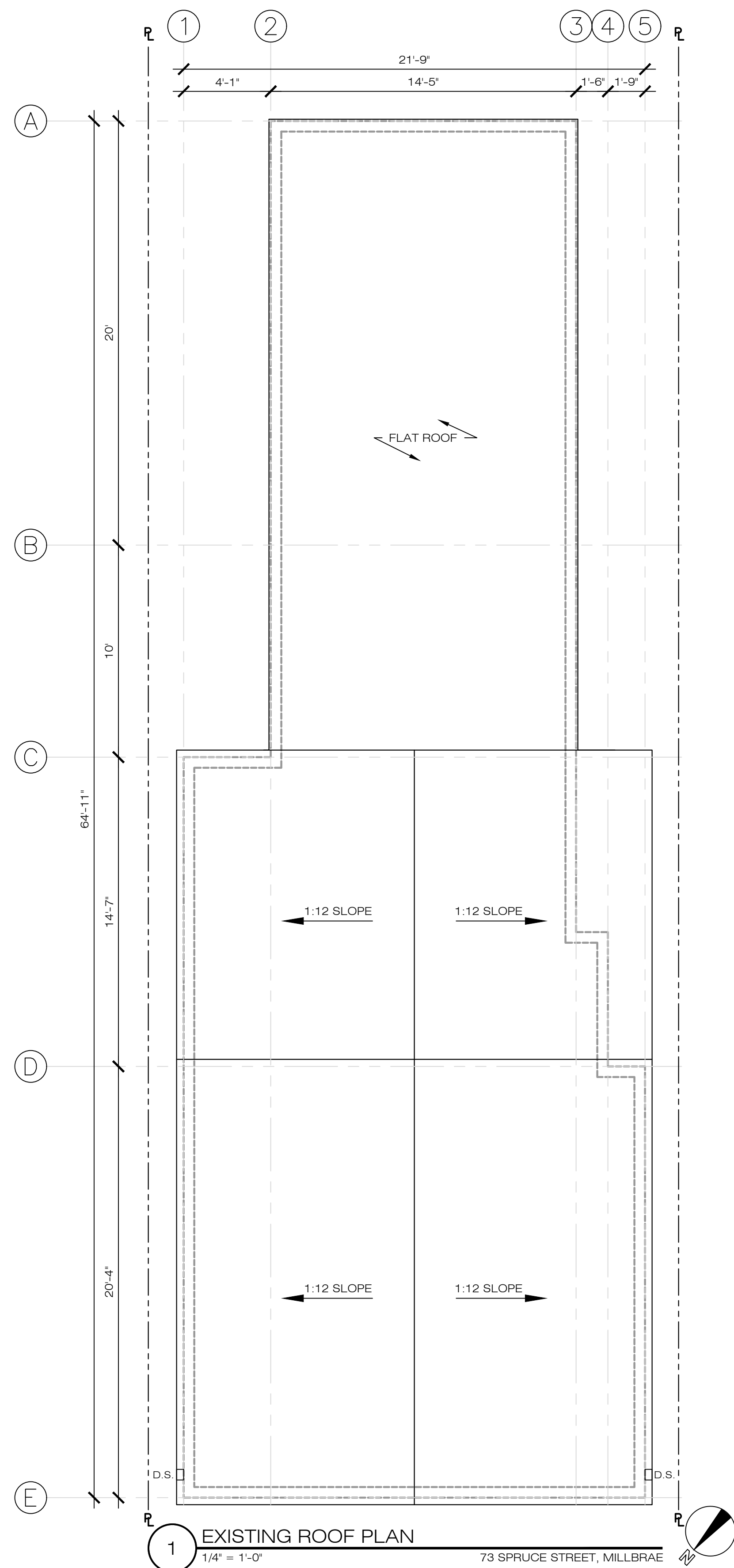
SHEET TITLE:
ROOF PLAN

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	



APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

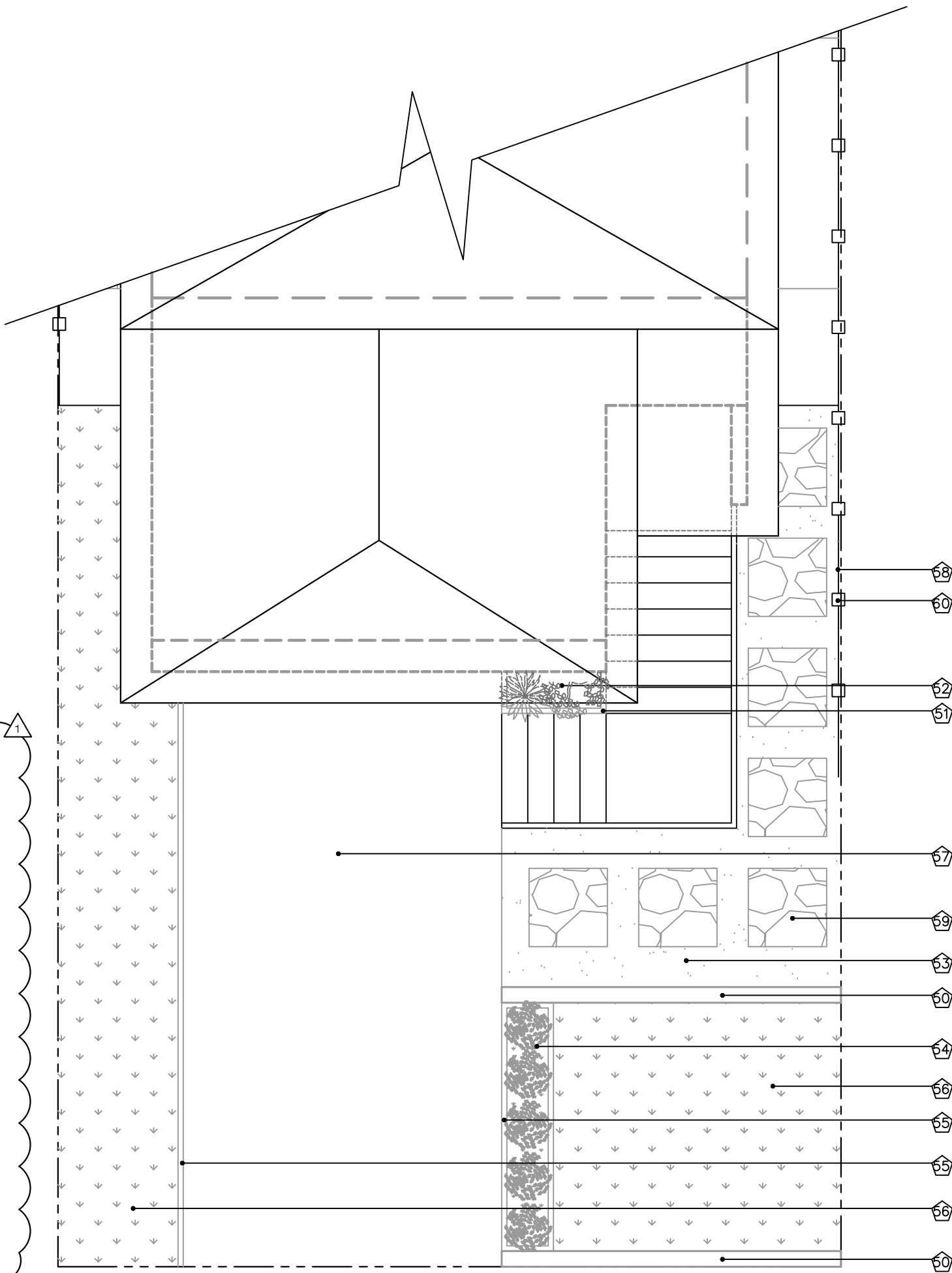
SHEET TITLE:
LANDSCAPE PLAN

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220


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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:





LANDSCAPE KEYED NOTES


TOTAL LANDSCAPE AREA: 250 SQ. FT. (50% OF FRONT YARD)


 NEW CONC. RETAINING WALL 7" HEIGHT.


 PLANTER BOX TO BE CONSISTENT W/ EXTERIOR GRADE WOOD OR CONC. MAXIMUM 30" H.


 PLANTS TBD BY OWNER.


 DARK BROWN GARDEN MULCH.


 SHRUBS: WHITE AZALES, MATURE HEIGHT 3-4 FT, MATURE WIDTH 3-4 FT SPREAD AND EXHIBIT A SLIGHTLY ROUNDED.


 ALUMINUM EDGING FOR PAVER.

 GRASS: ARTIFICIAL GRASS W/ DRAINAGE, SYNLAWN ULTRALASH 13 FT WIDE CUT-TO-LENGTH.

 193 SQ. FT. (39%) PERMEABLE CONCRETE PAVERS ON GRADE FOR DRIVEWAY.

 NEW CONC. FOOTING TO BE USE AS A MOUNTING BASE FOR NEW WOODEN FENCE.

 CUSTOM PERMEABLE STEPPING STONE.

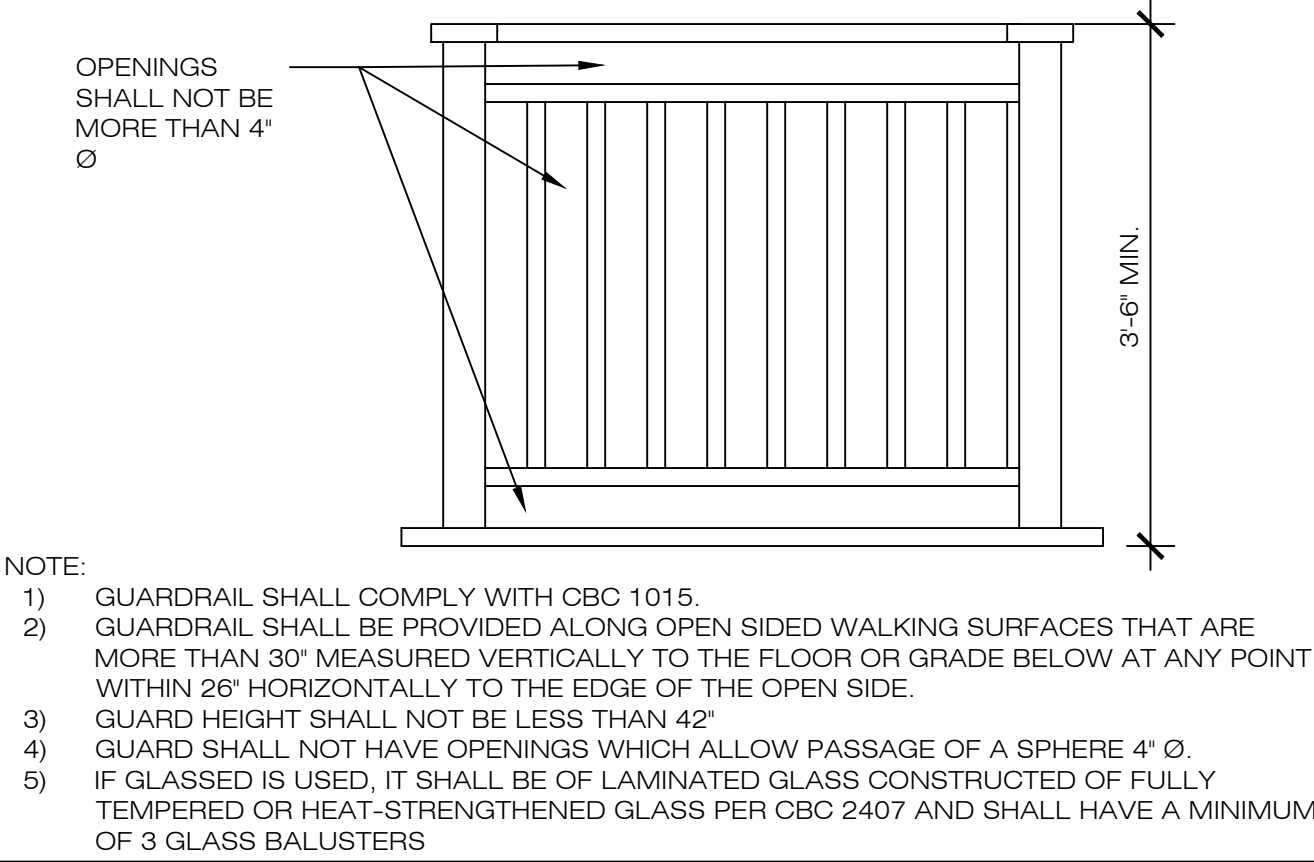
 NEW WOOD FENCE TO BE CONST W/ 1x4 OR 1x6 CEDAR BOARD IN HORIZONTAL DIRECTION.

1

PROPOSED LANDSCAPE PLAN (DRIVEWAY)

1/4" = 1'-0"

73 SPRUCE STREET, MILLBRAE

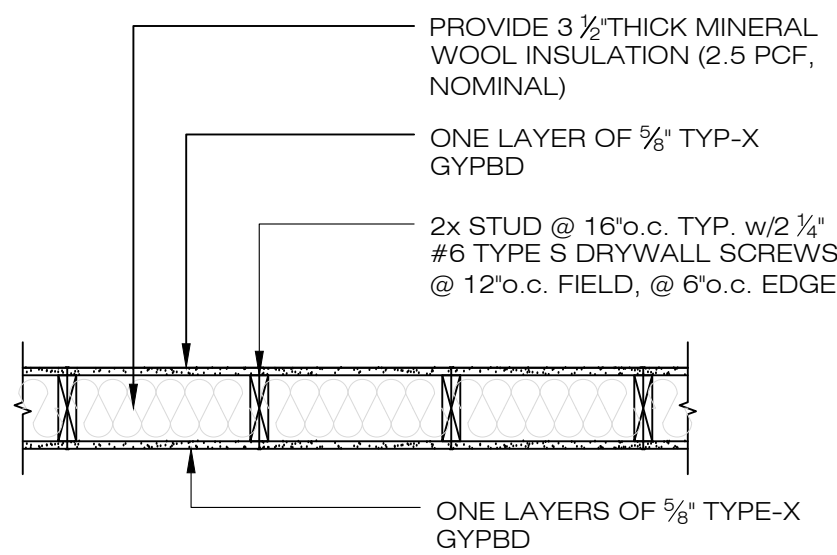
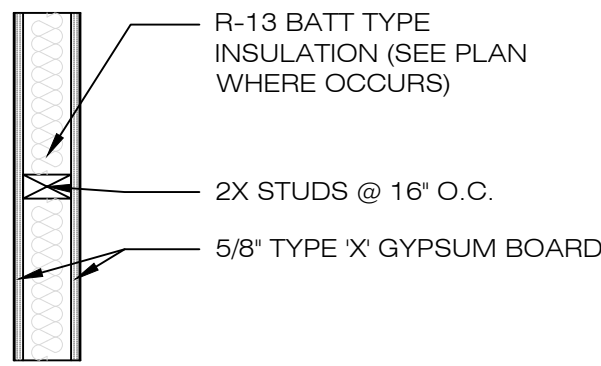
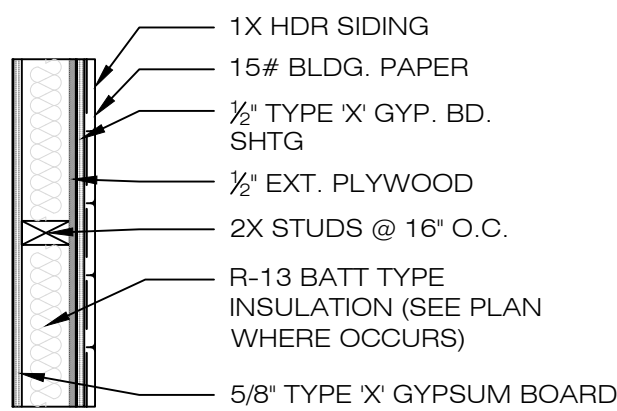
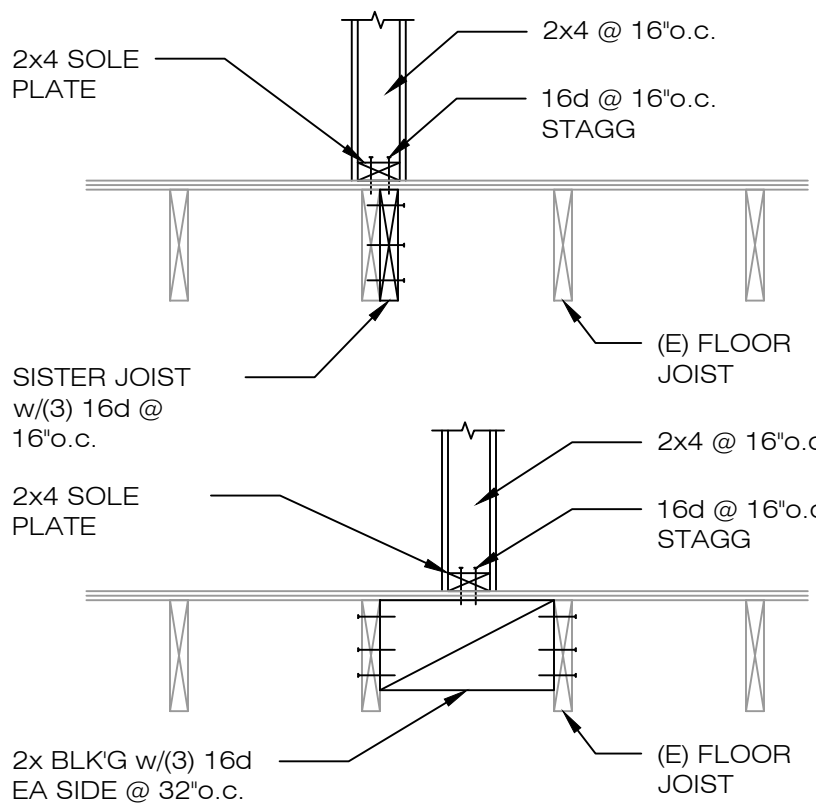


GUARD RAIL DETAIL

1 WINDOW DETAIL - SIDING

2

NO SCALE



PARTITION TO FLOOR JOIST

3 EXTERIOR WALL DETAIL (SIDING)

4

INTERIOR WALL DETAIL

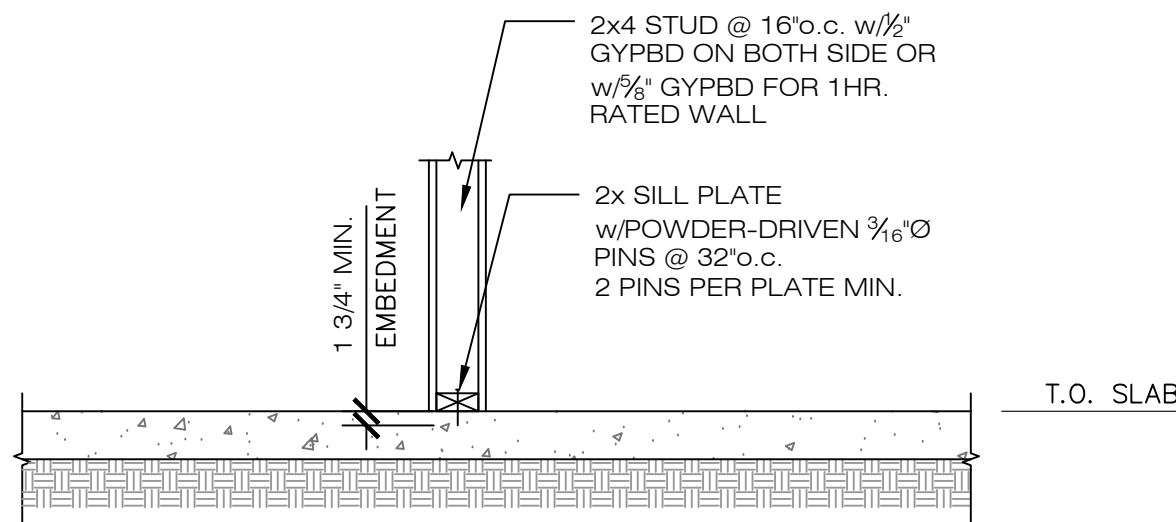
5

1-HR WALL DETAILS

6

NO SCALE

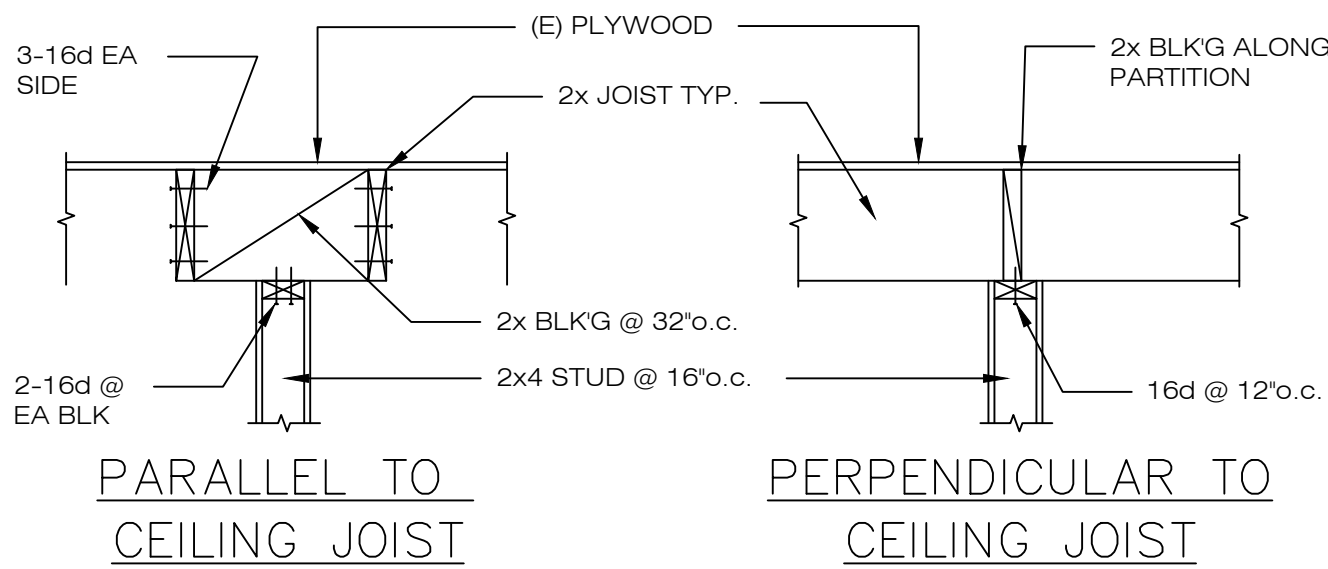
NO SCALE



PARTITION TO SLAB

7

NO SCALE



PARTITION TO CEILING

8 TYP. BATHROOM FIXTURE HT.

9

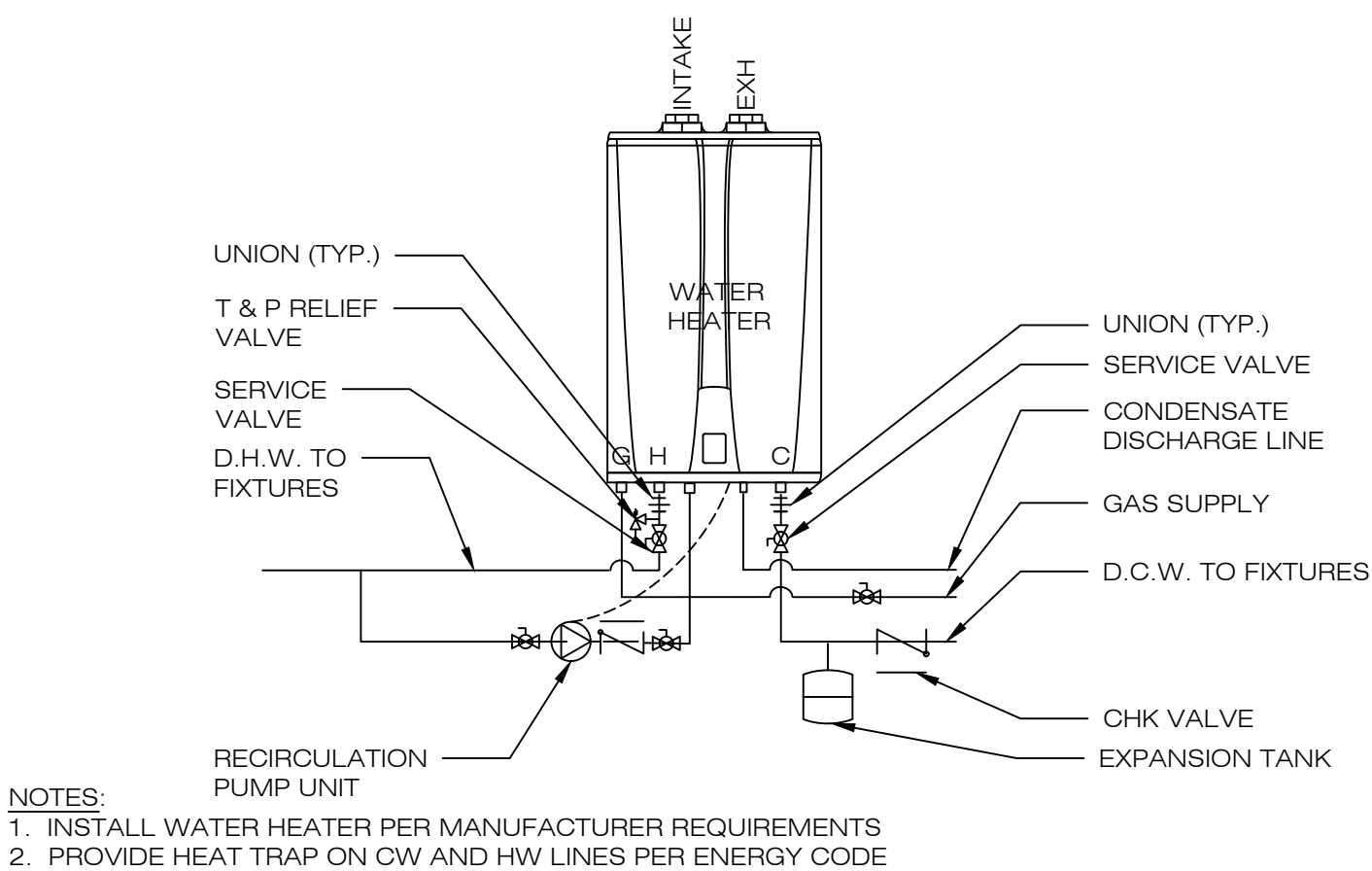
WATER HEATER DETAIL (TANKLESS)

10

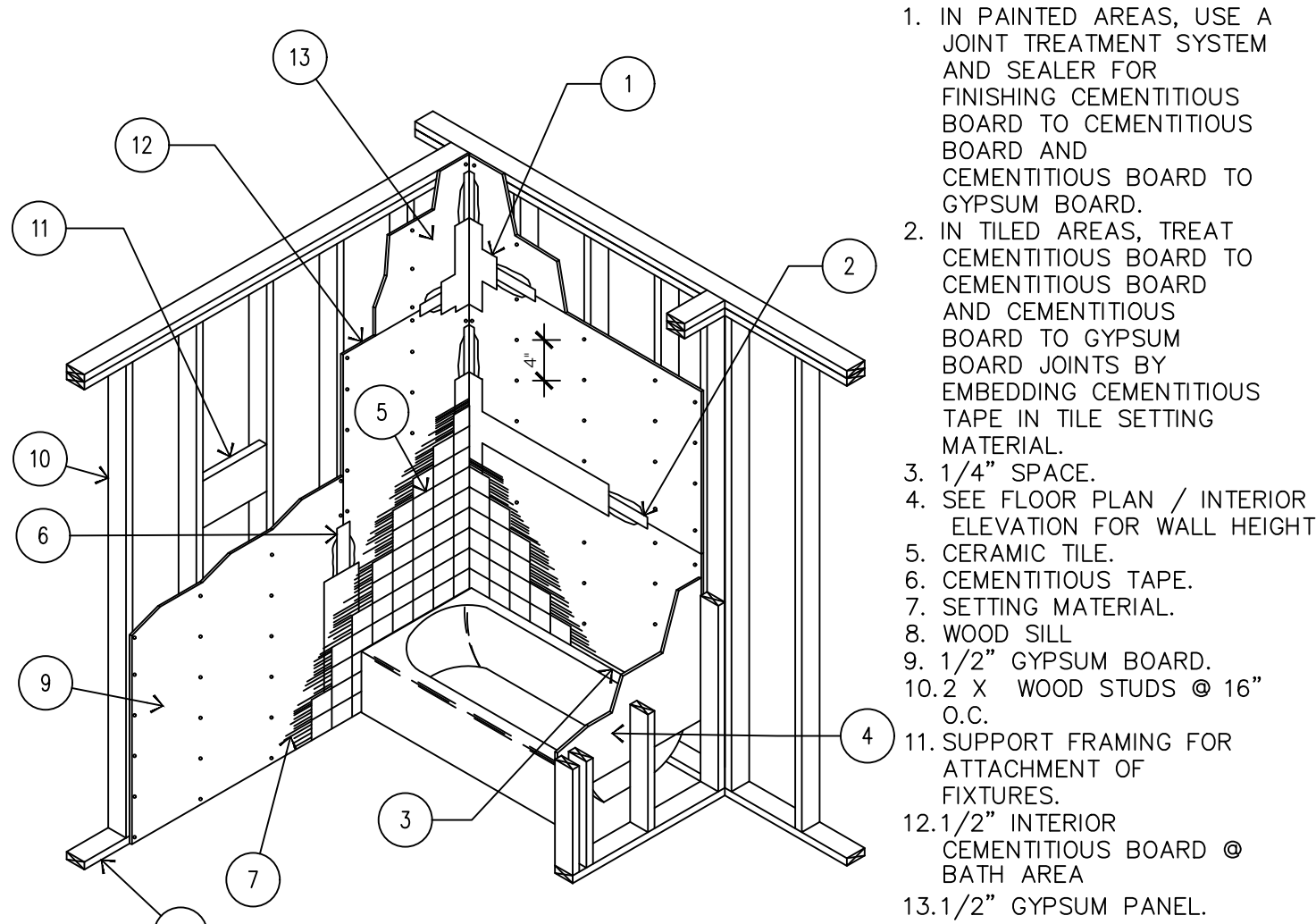
BATHROOM WALL DETAIL

11

NO SCALE

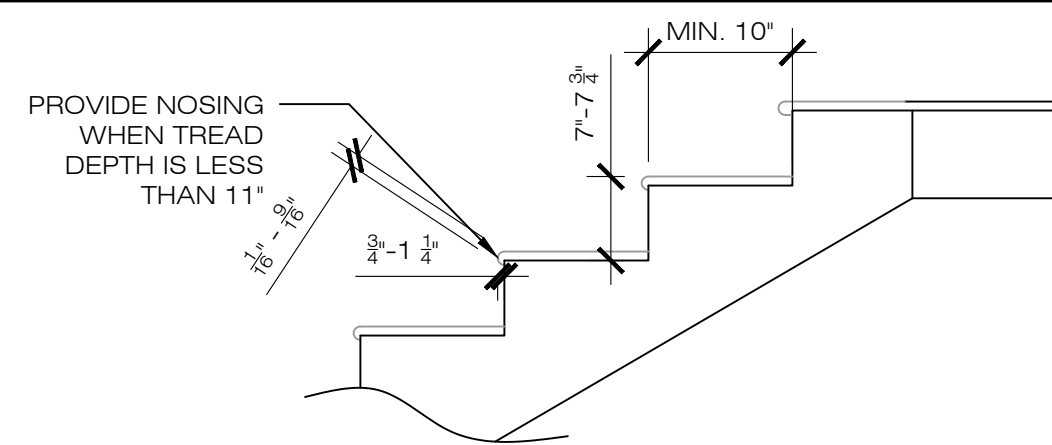


NOTES:
1. INSTALL WATER HEATER PER MANUFACTURER REQUIREMENTS
2. PROVIDE HEAT TRAP ON CW AND HW LINES PER ENERGY CODE



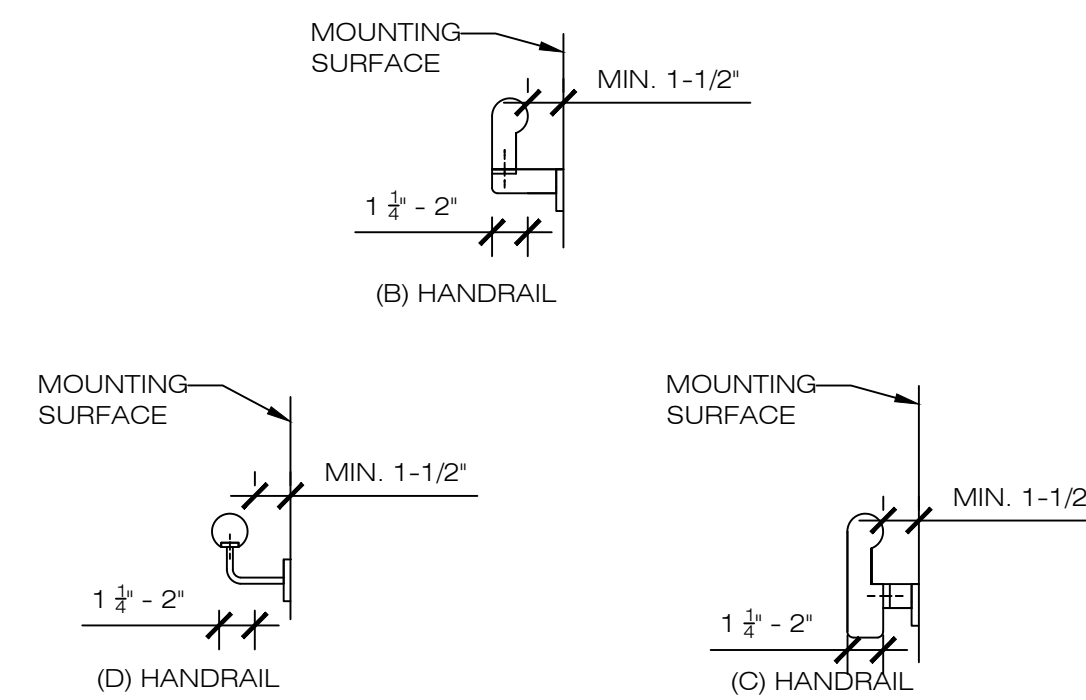
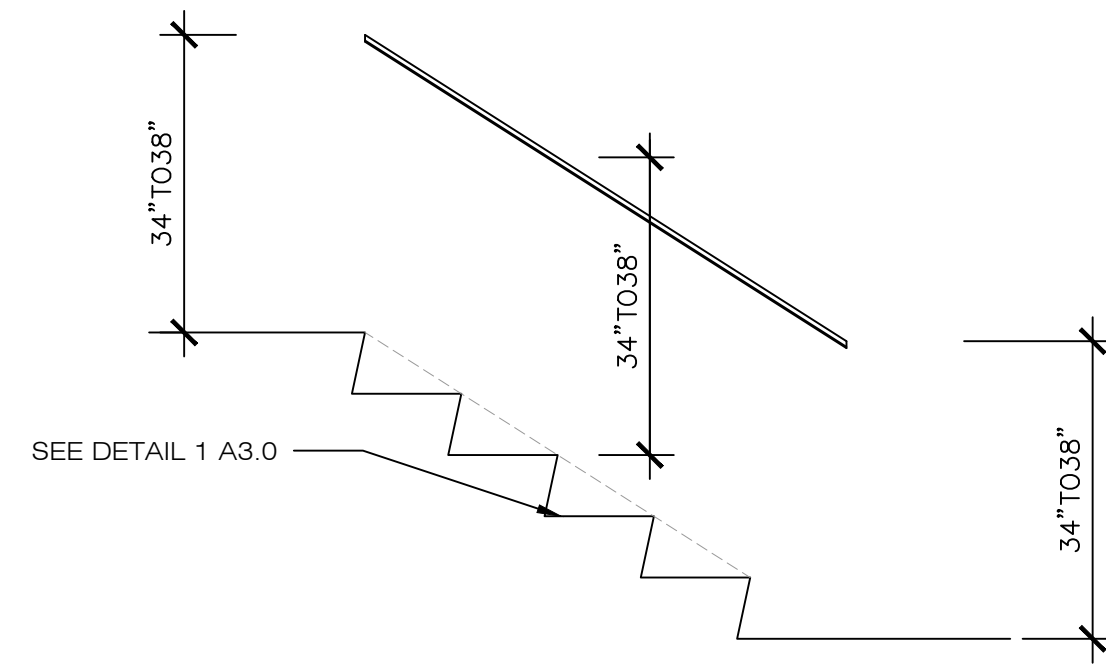
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DESIGNED: PETER CHOW	PROJECT NO. 200222
DRAWN: PETER CHOW	DATE: 03/02/2020
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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:



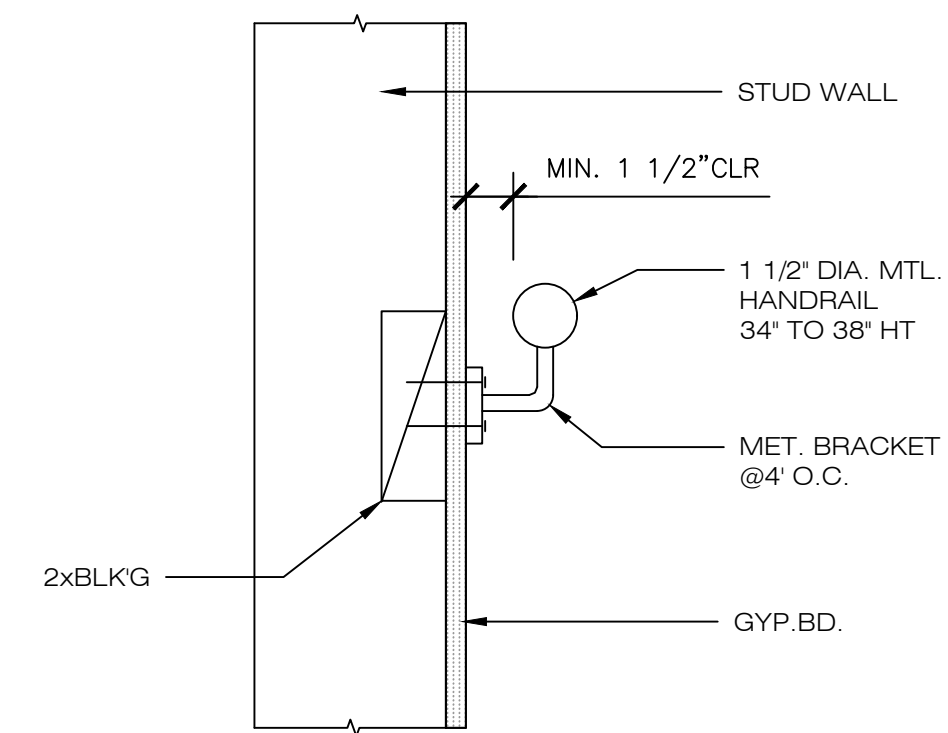
NOTE:

- 1) STAIRWAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CBC 1011
- 2) THE RISE SHALL BE FROM A MIN. OF 7" TO A MAX. OF 7 $\frac{1}{2}$ " AND THE MIN. TREAD DEPTH SHALL BE 10". A NOSING PROJECTION NOT LESS THAN $\frac{3}{8}$ " BUT NOT MORE THAN 1 $\frac{1}{2}$ " SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WITH TREAD DEPTH LESS THAN 11".
- 3) NOSING SHALL HAVE A CURVATURE OR BEVEL NOT LESS THAN $\frac{1}{8}$ " BUT NOT MORE THAN $\frac{1}{8}$ " FROM THE FOREMOST PROJECT OF THE TREAD.
- 4) STAIR TREADS AND RISERS SHALL BE UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED $\frac{3}{16}$ ".
- 5) SEE HANDRAIL DETAIL 4/A3.0
- 6) IF GLASS IS USED, IT SHALL BE OF LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS PER CBC 2407 AND SHALL HAVE A MINIMUM OF 3 GLASS BALUSTERS



NOTE:

- 1) MINIMUM HANDRAIL HEIGHTS OF 34" TO 38" ABOVE TREAD NOSING (CRC R311.7.8.1)
- 2) HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT AND SHALL TERMINATE INTO A NEWEL POSTS OR SAFETY TERMINALS (CRC R311.7.8.2)
- 3) HANDRAIL GRIP SIZE SHALL BE 1 1/4" TO 2" IN CROSS SECTIONAL DIMENSION (CRC R311.7.8.3)



STAIRWAY DETAIL

1

STAIR & HANDRAIL

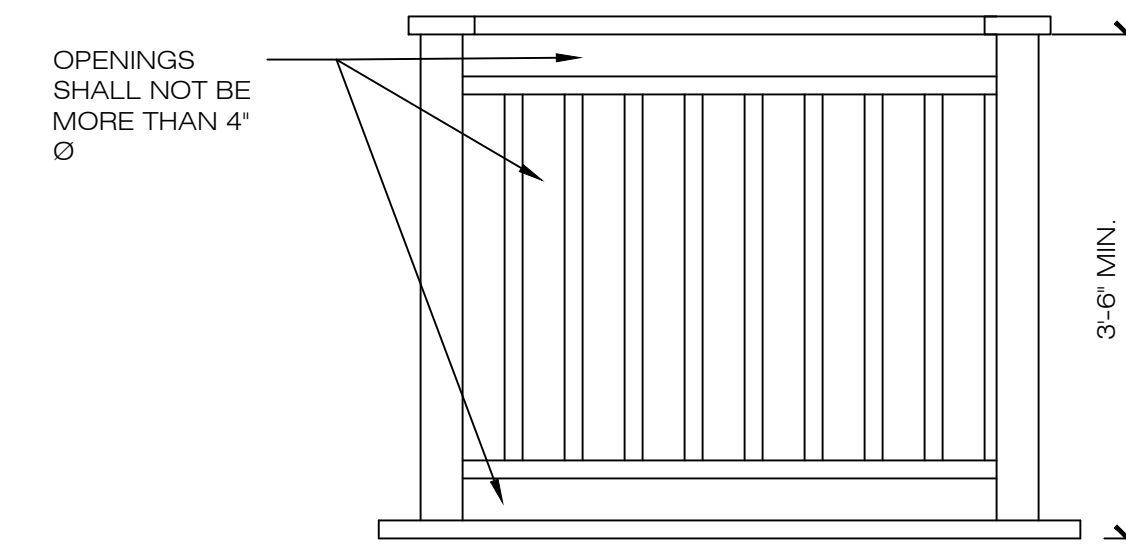
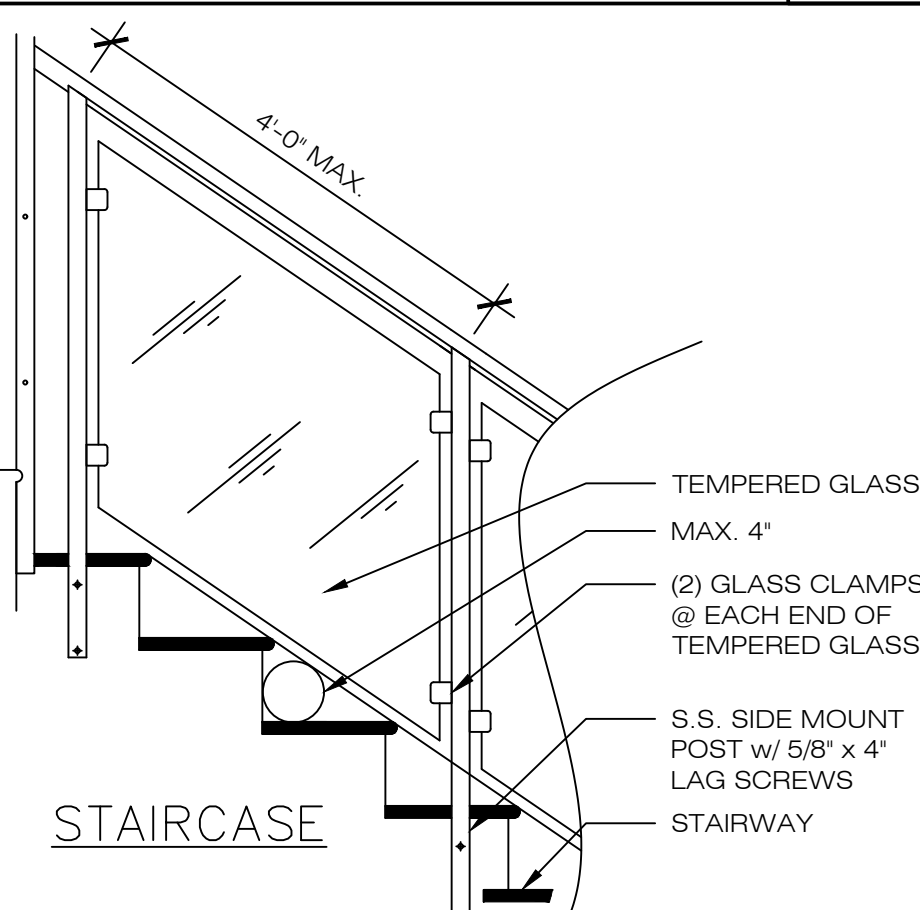
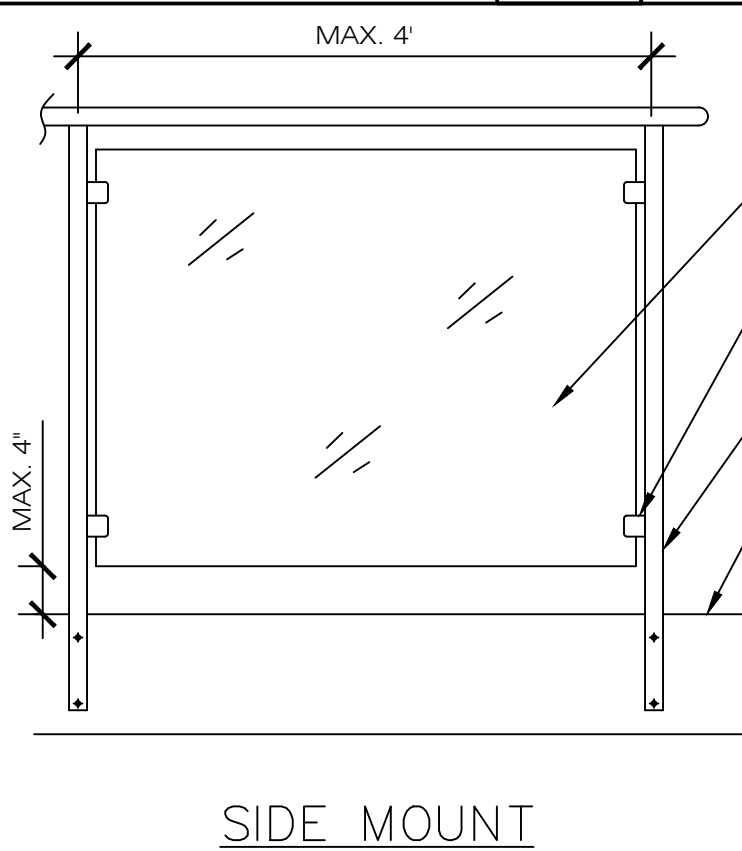
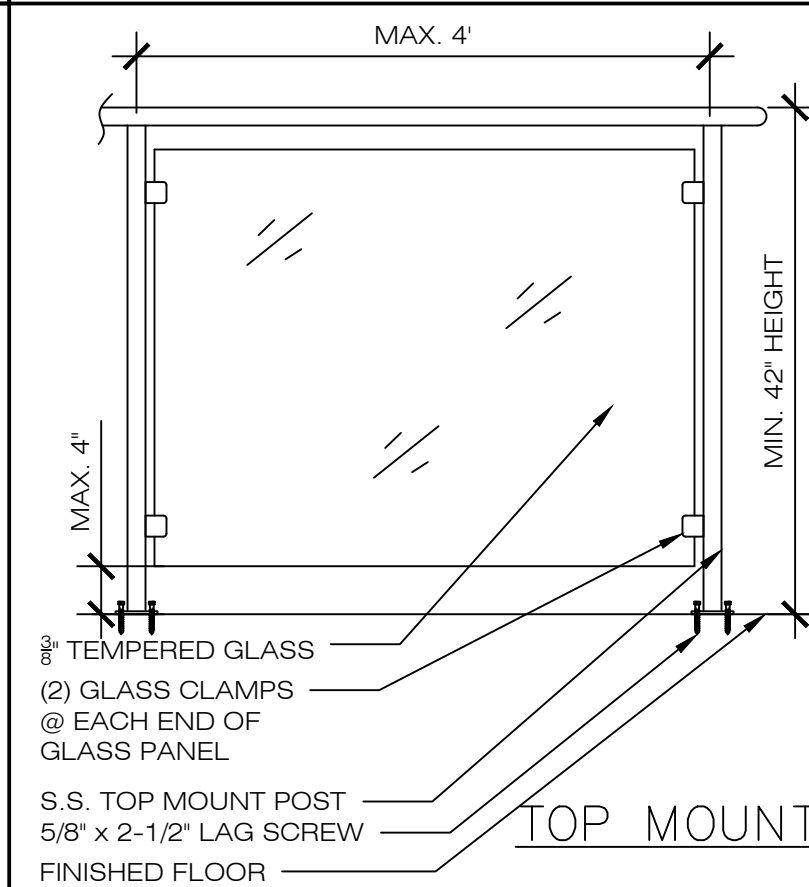
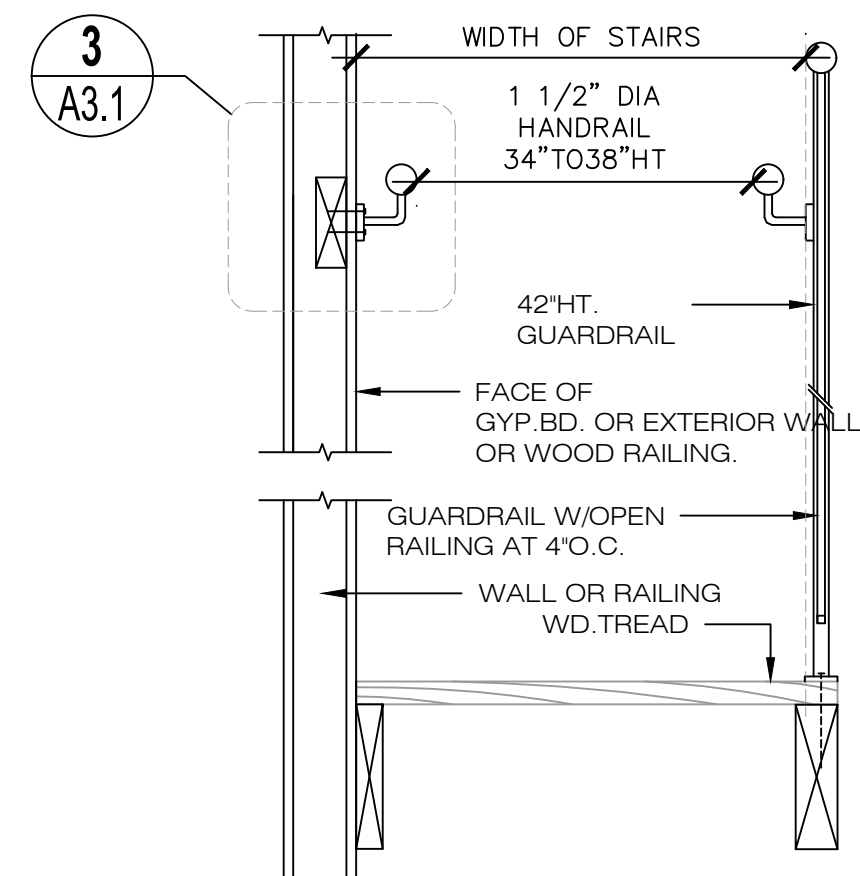
2

HANDRAIL DETAIL

NO SCALE

HANDRAIL

4



NOTE: GUARDRAIL FINISH MATERIAL CAN BE SUBSTITUTED WITH WOOD. GUARDRAIL OPENINGS SHALL NOT ALLOW A 4" Ø SPHERE PASS THRU. THE GUARDRAIL SHALL BE A MIN. HEIGHT OF 42"

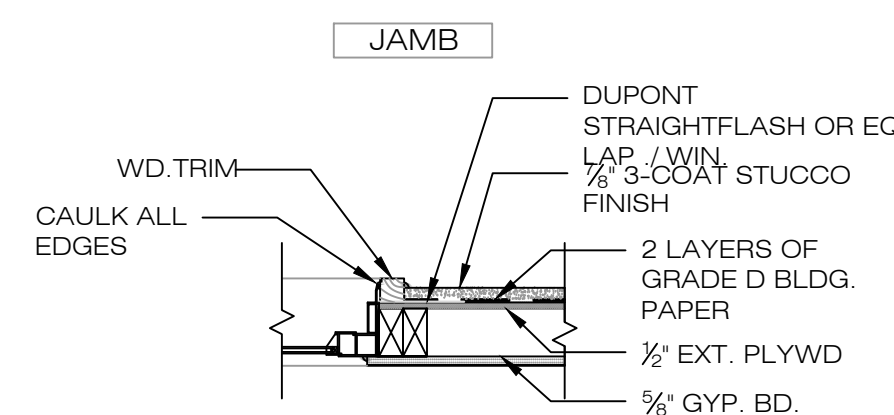
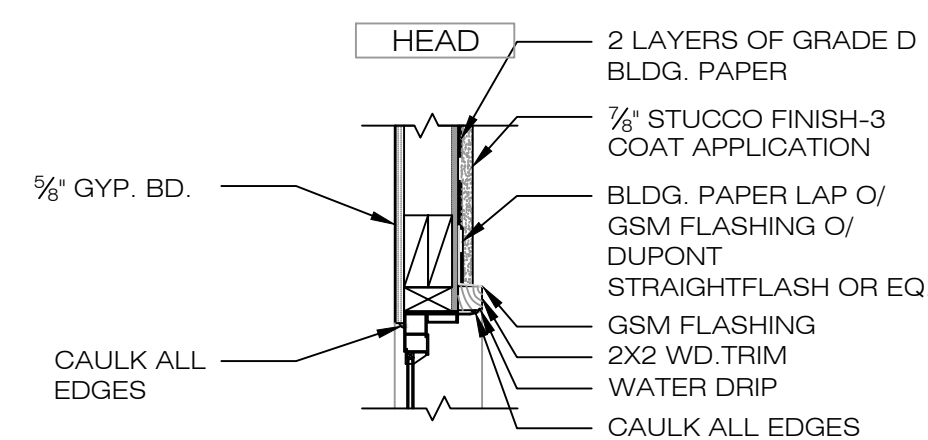
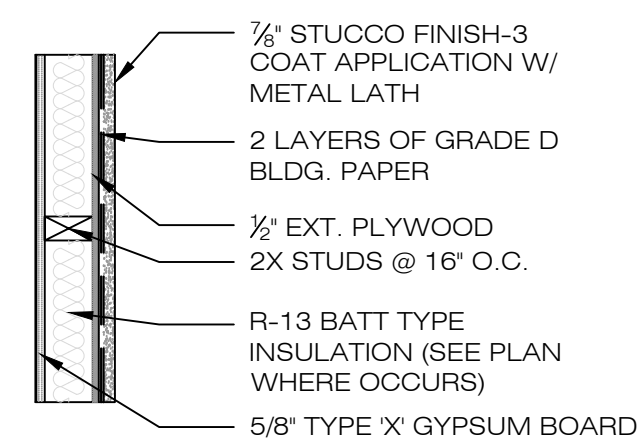
STAIR & RAIL

NO SCALE

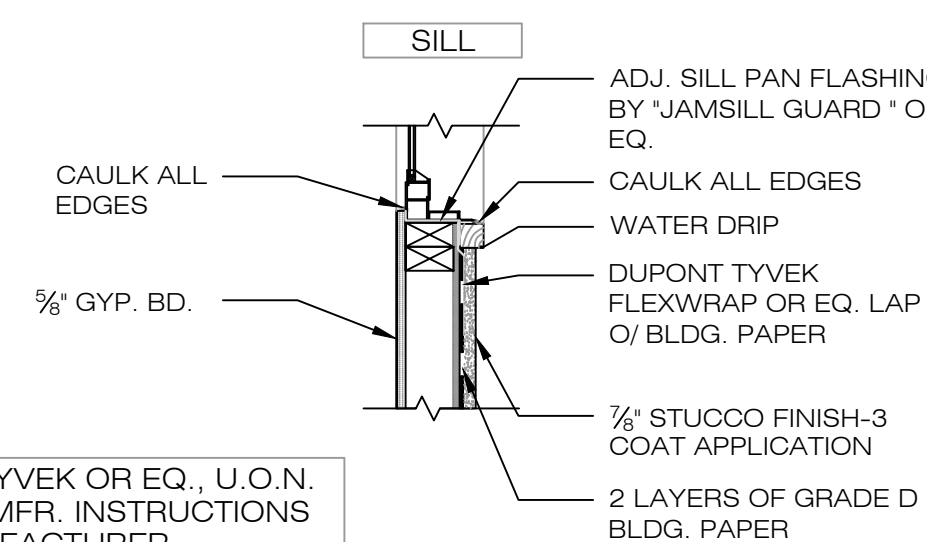
RAILING DETAIL

NO SCALE

6



1. PROVIDE FLASHING SYSTEM BY DUPONT TYVEK OR EQ., U.O.N.
2. INSTALL ALL WINDOWS & FLASHING PER MFR. INSTRUCTIONS
3. VERIFY EGRESS SIZES W/ MANUFACTURER.



EXTERIOR STUCCO WALL DETAIL

NO SCALE

WINDOW DETAIL - STUCCO

NO SCALE

8

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
DETAILS

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED:	PROJECT NO.
PETER CHOW	200222
DRAWN:	DATE:
PETER CHOW	03/02/2020
SCALE:	CHECKED:
AS SHOWN	C.C.
FILE:	REVIEWED:
	C.C.
NEW:	CONSULTANT:
1-D	
SHEET	

A3.1

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
ELEVATIONS

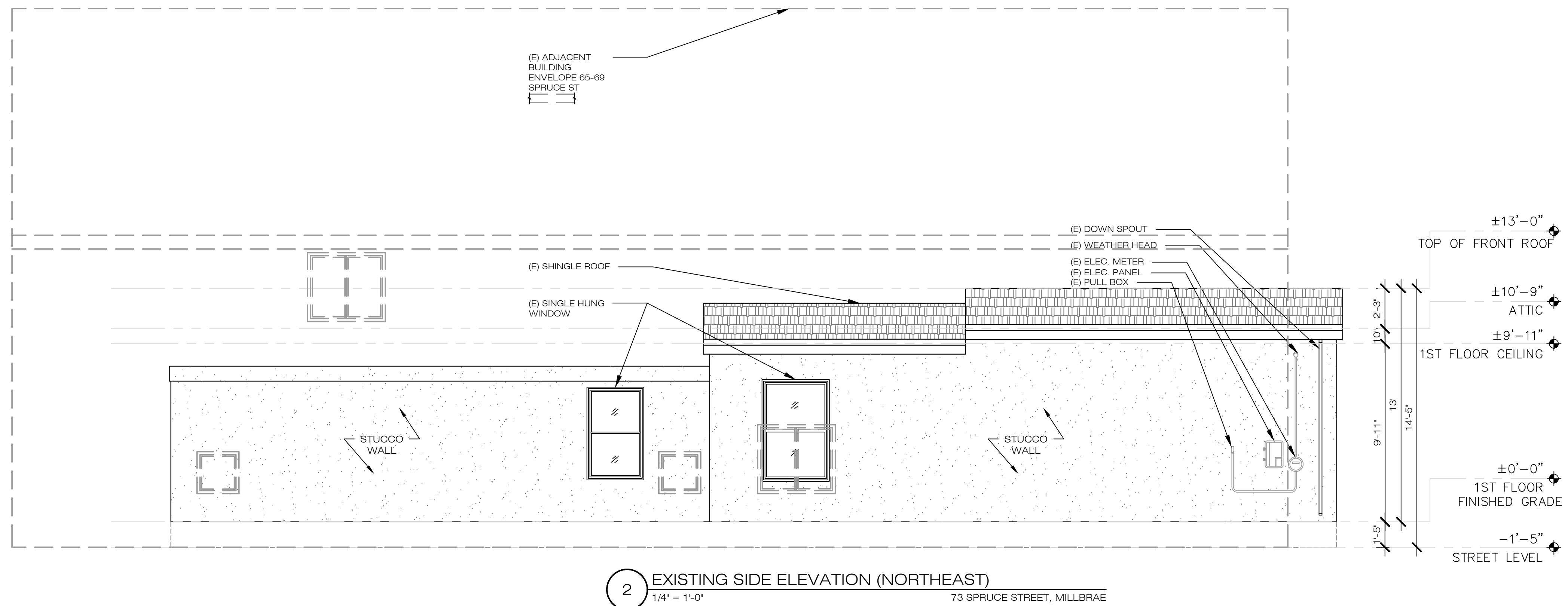
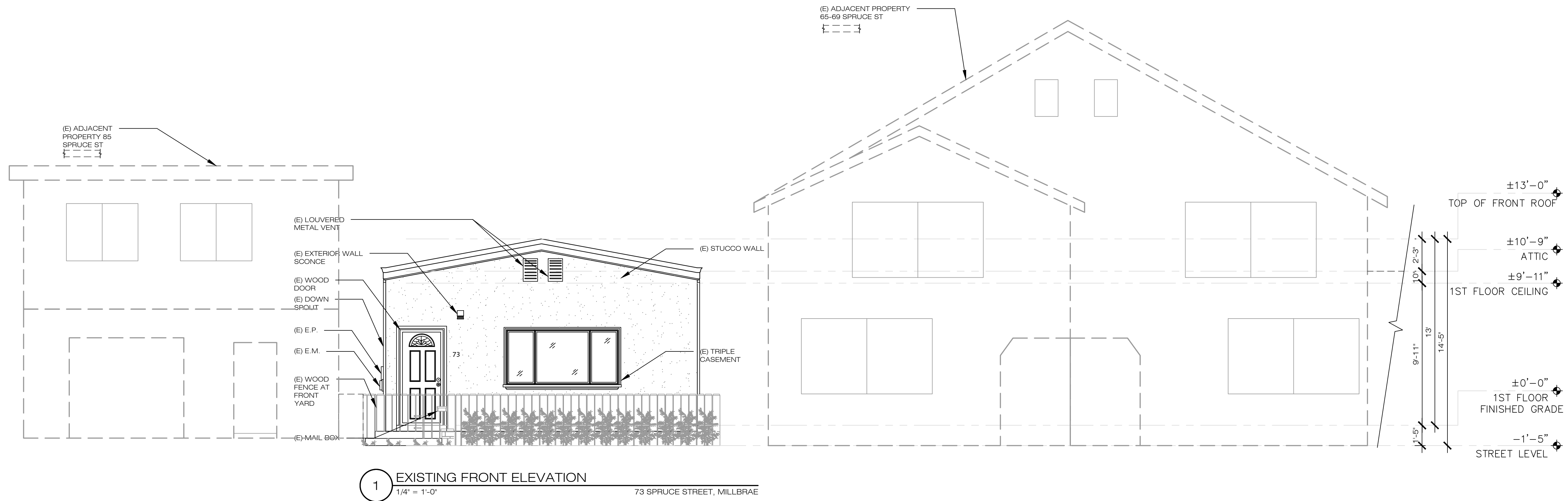
JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

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DRAWN: PETER CHOW	DATE: 03/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:

SHEET
A4.0
OF SHEETS



APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
ELEVATIONS

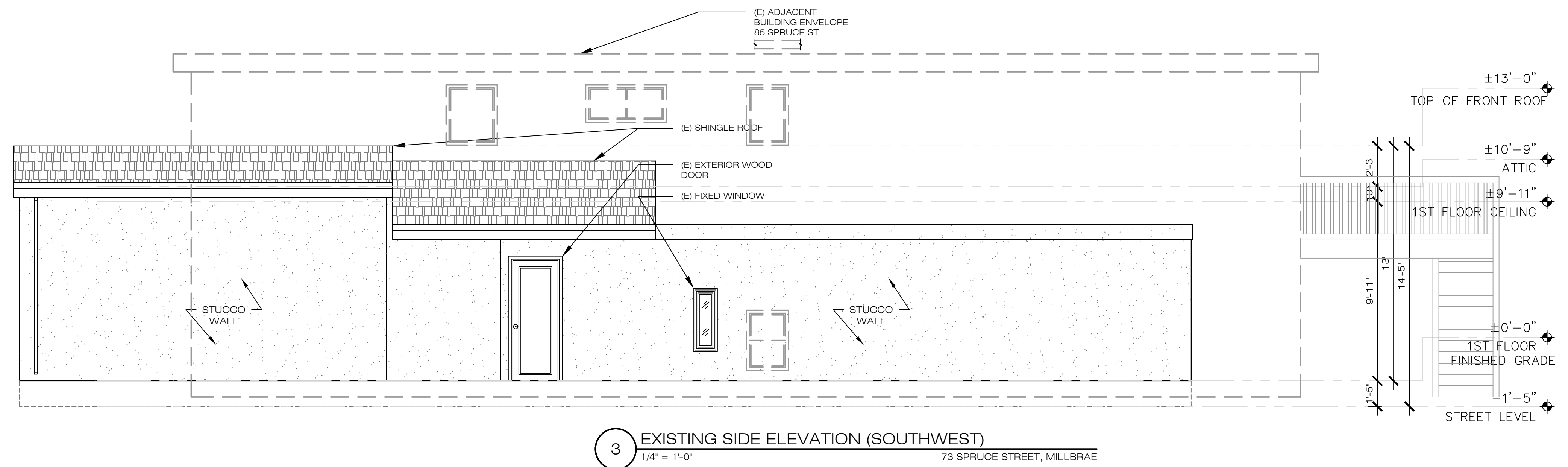
JOB ADDRESS:
73 SPRUCE STREET,
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APN: 021-302-220

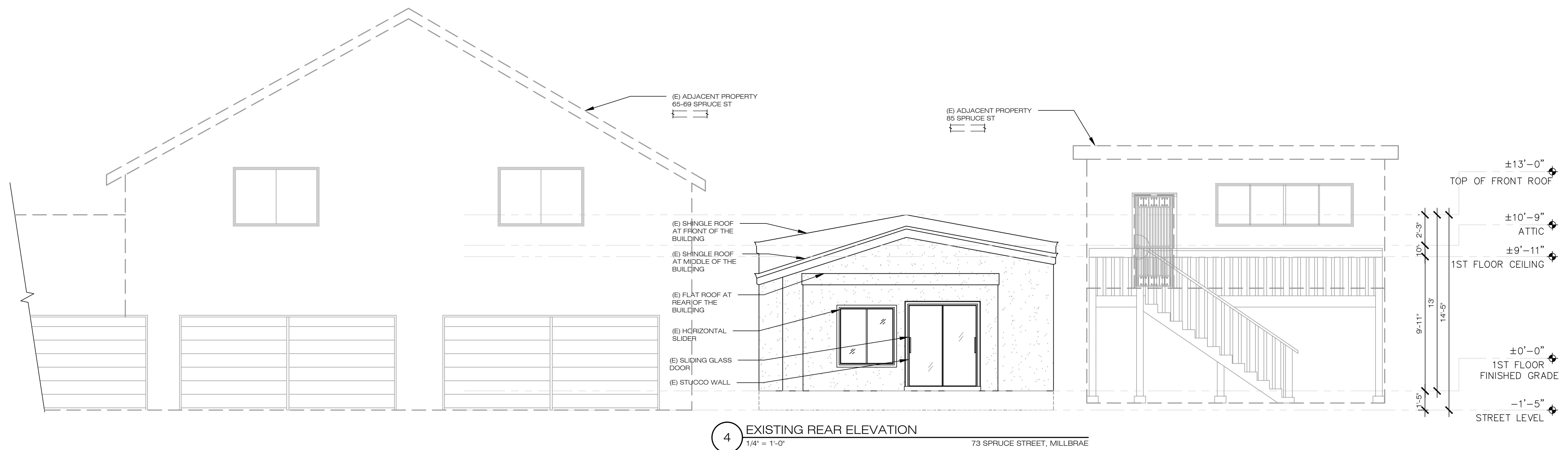
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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

A4.1
OF SHEETS



3 EXISTING SIDE ELEVATION (SOUTHWEST)
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE



4 EXISTING REAR ELEVATION
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE



APPLICANT:

YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
ELEVATIONS

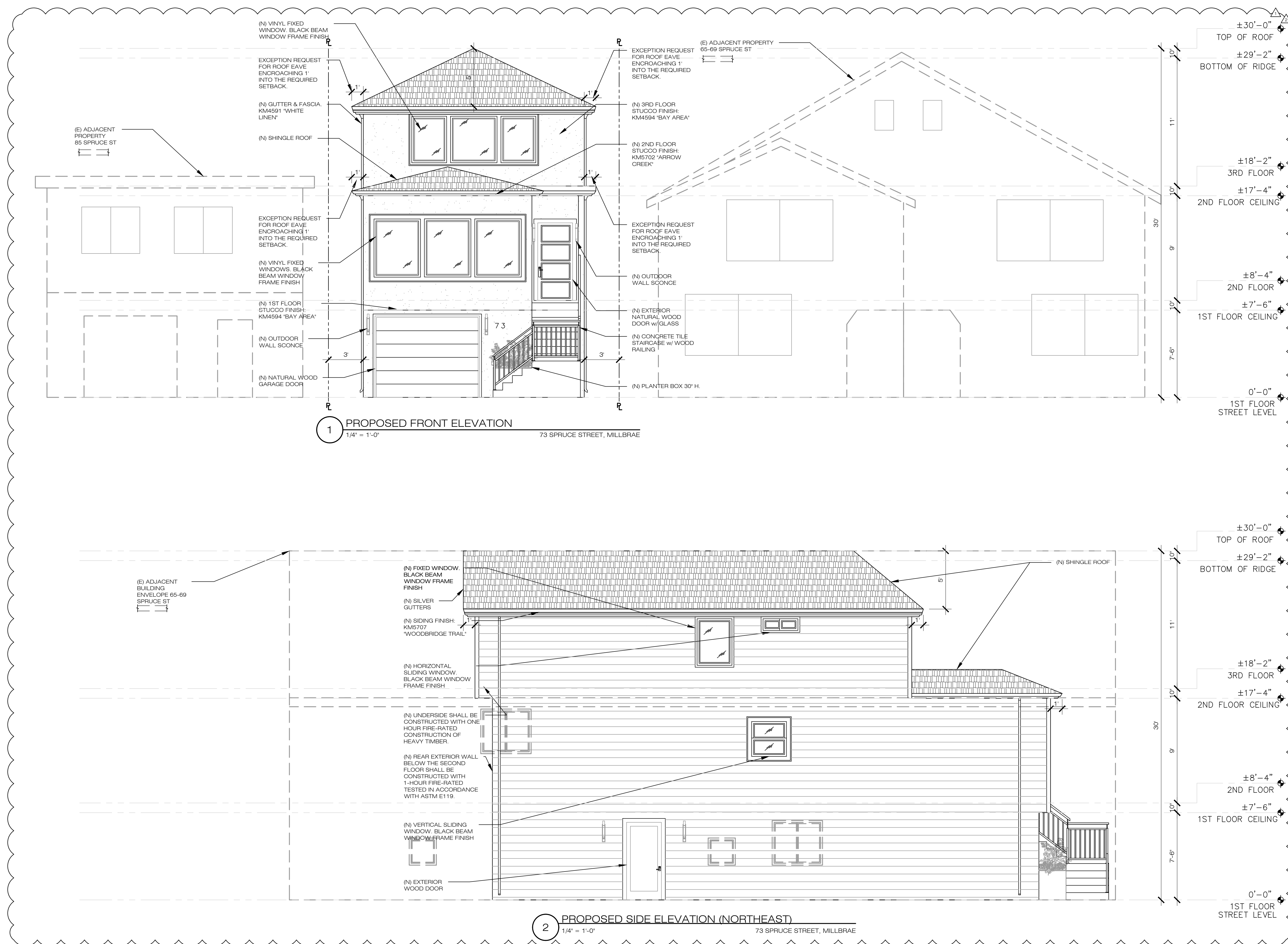
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FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:
SHEET	

A4.2



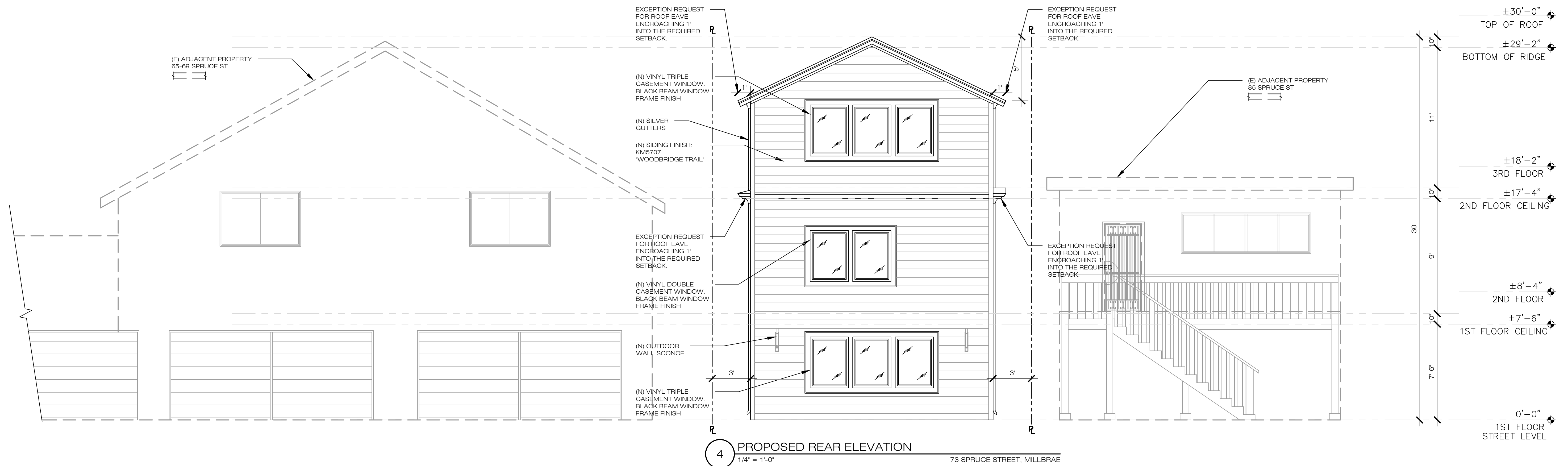
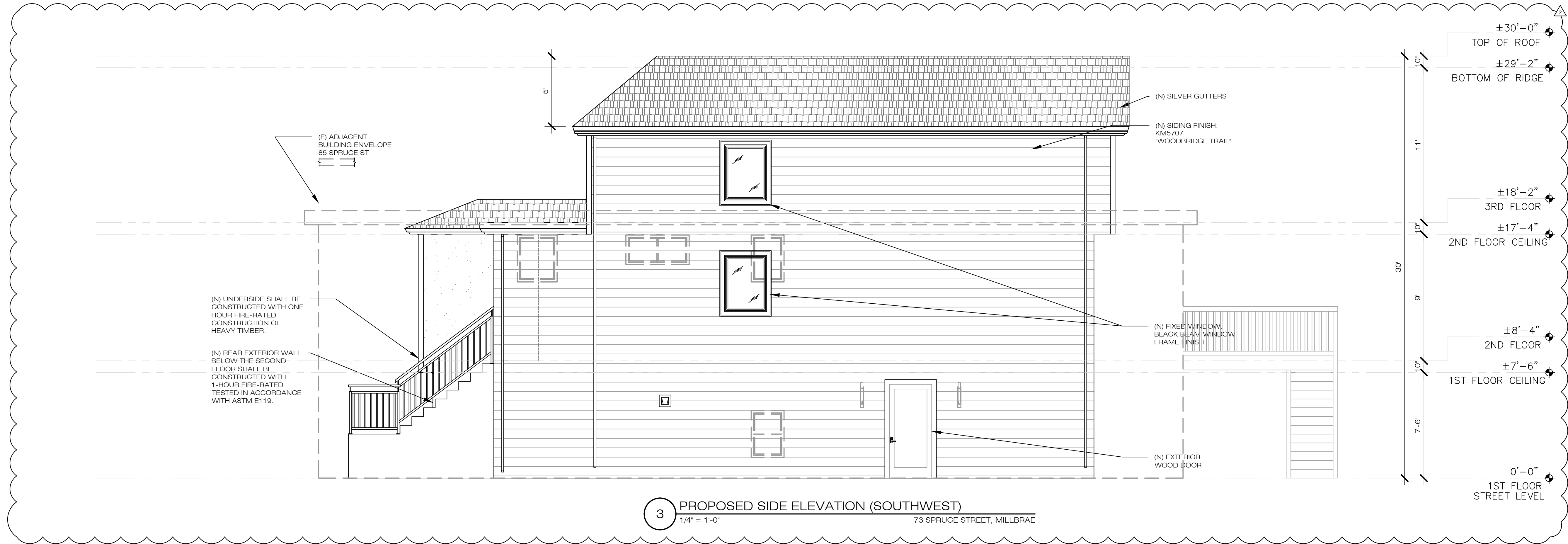
APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
ELEVATIONS

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220



NO.	REVISIONS/SUBMISSIONS
1	06/28/2021
2	07/27/2021

DESIGNED: PETER CHOW	PROJECT NO. 200222
DRAWN: PETER CHOW	DATE: 03/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D SHEET	CONSULTANT:

A4.3

OF SHEETS

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
SECTION

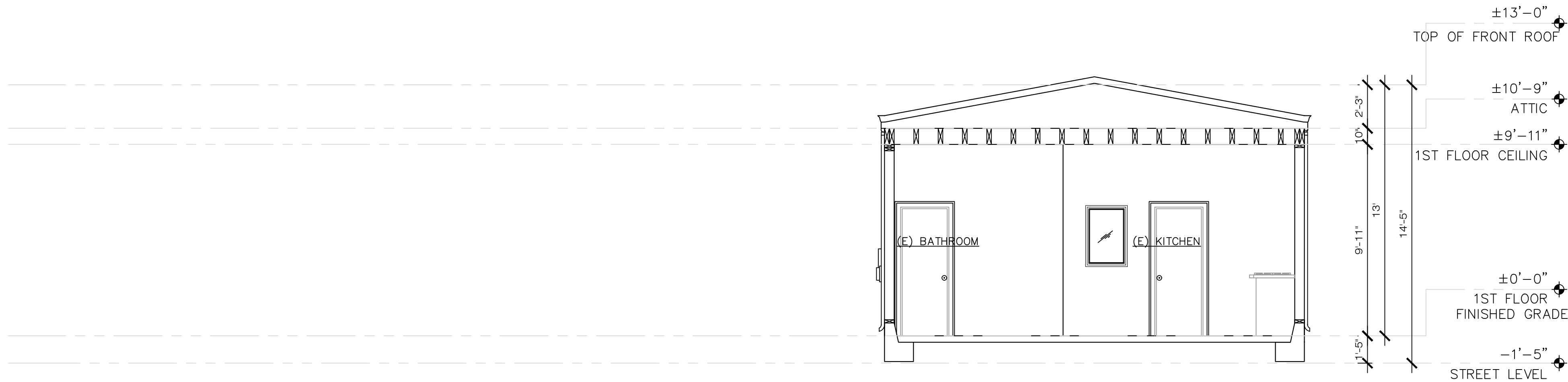
JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

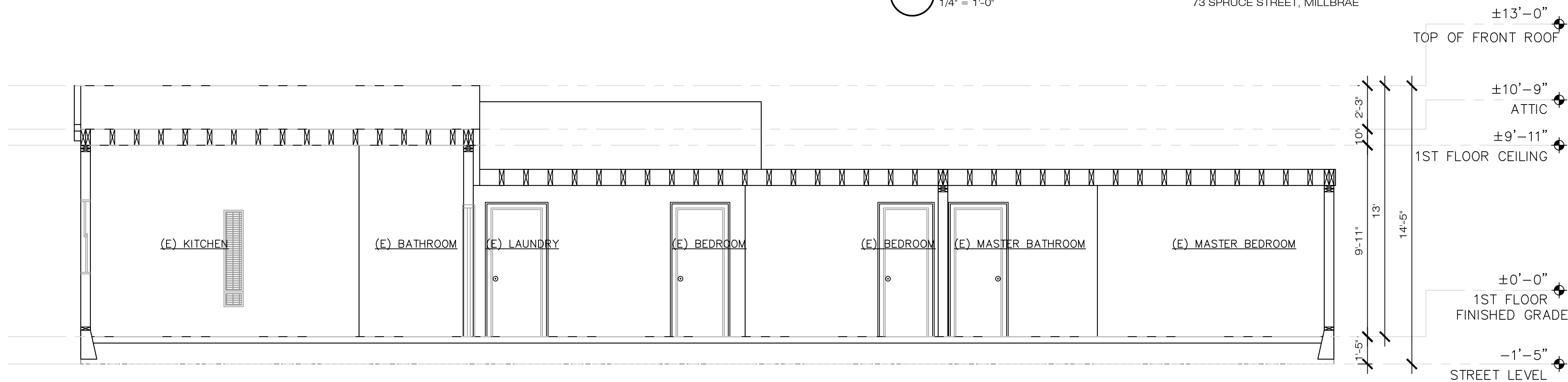
NO.	REVISIONS/SUBMISSIONS
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DESIGNED: PETER CHOW	PROJECT NO. 200222
DRAWN: PETER CHOW	DATE: 03/02/2020
SCALE: AS SHOWN	CHECKED: C.C.
FILE: 2-D	REVIEWED: C.C.
SHEET	CONSULTANT:

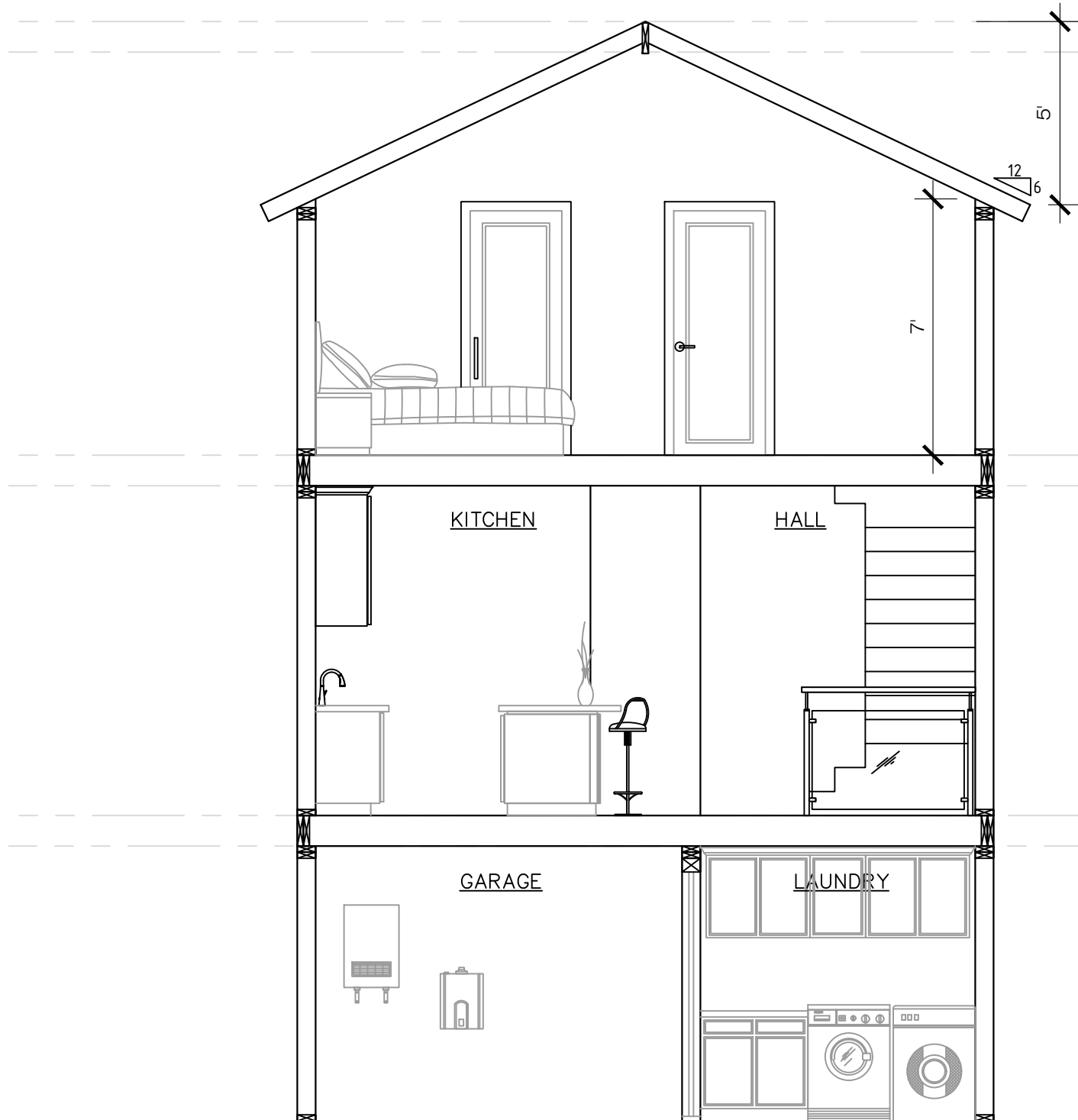
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OF SHEETS



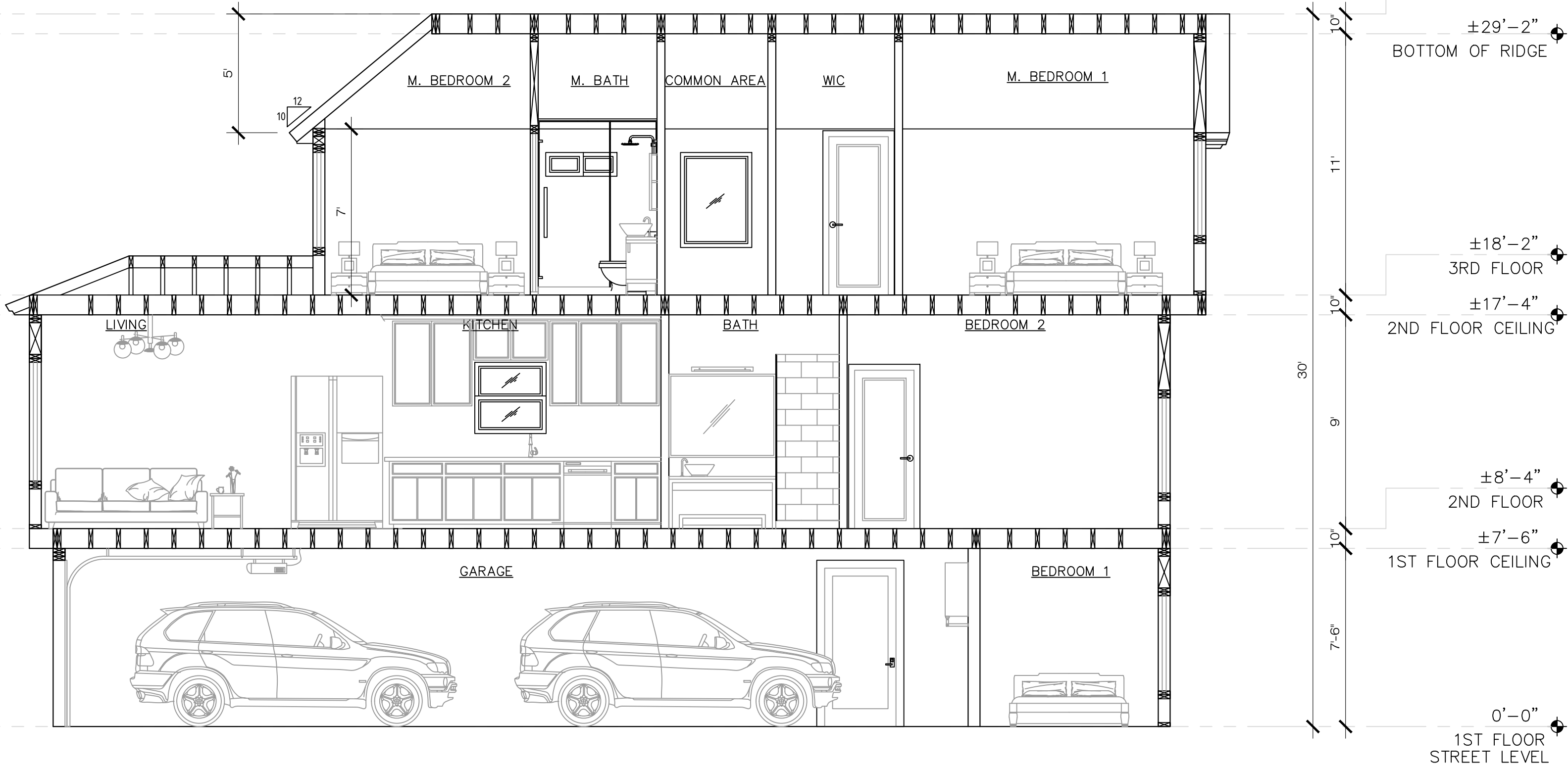
1 EXISTING LATERAL SECTION
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE



2 EXISTING LONGITUDINAL SECTION
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE



3 PROPOSED LATERAL SECTION
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE



4 PROPOSED LONGITUDINAL SECTION
1/4" = 1'-0" 73 SPRUCE STREET, MILLBRAE

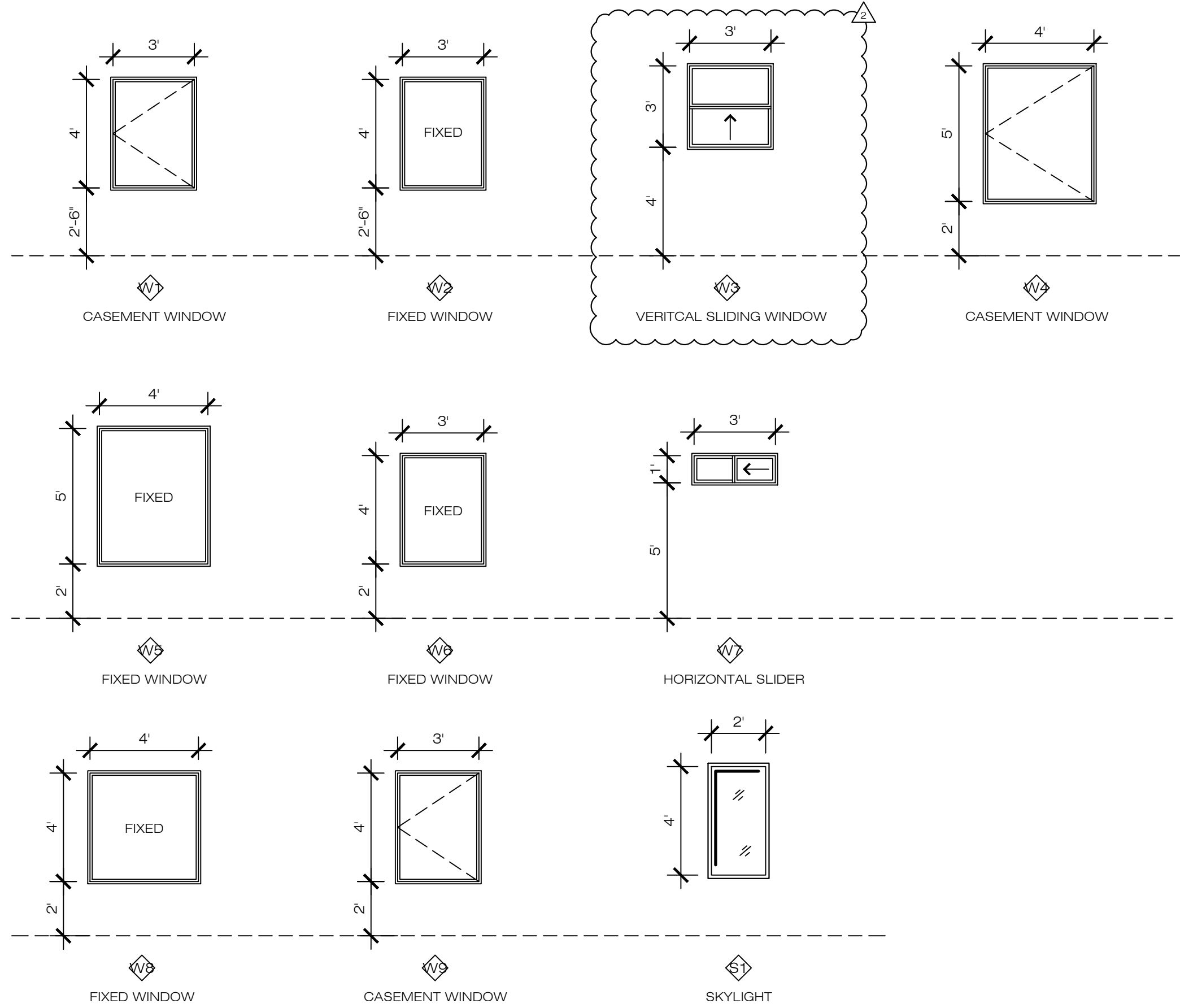
APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
WINDOW AND
DOOR SCHEDULE

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

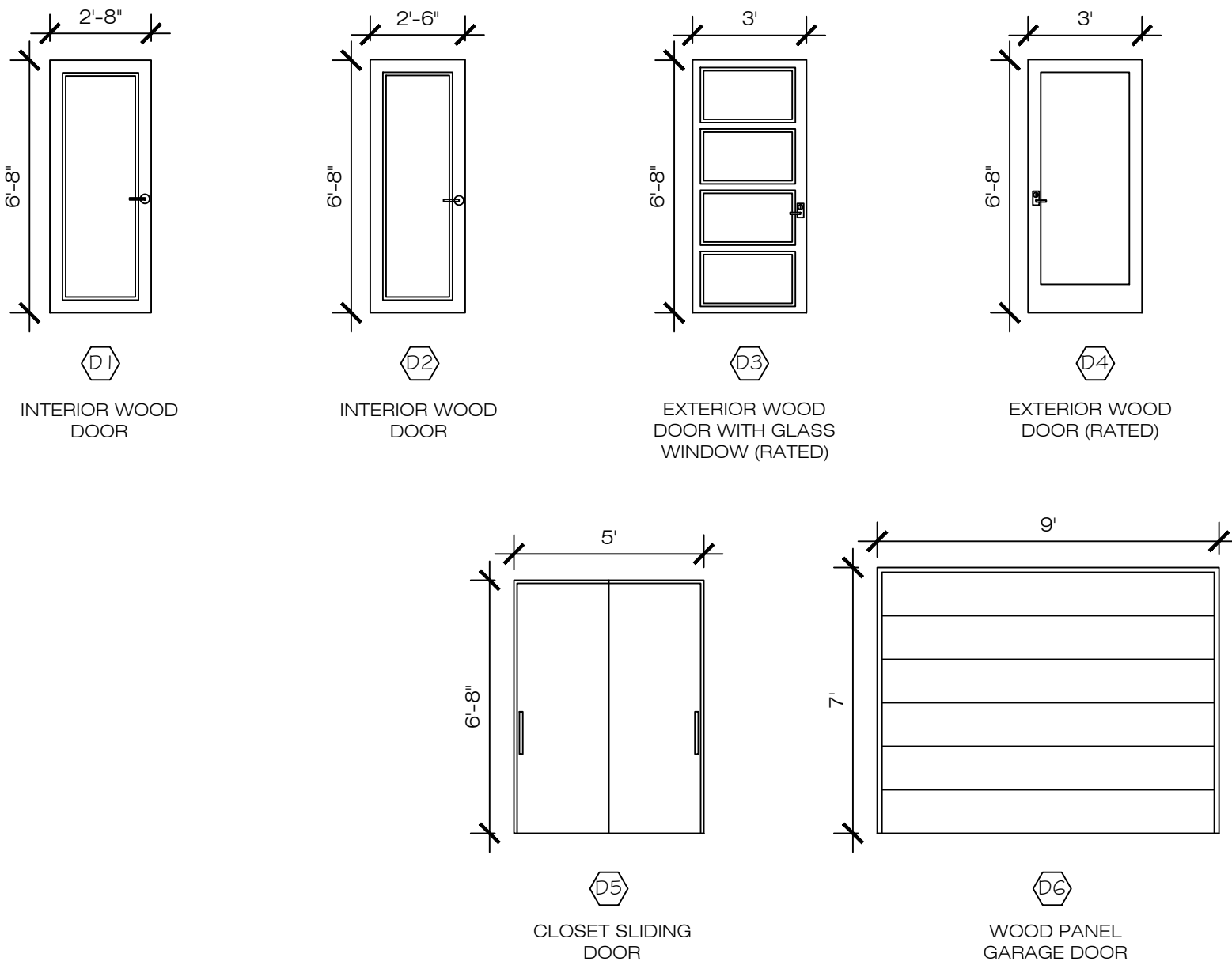


WINDOW SCHEDULE					
MARK	STYLE	SIZE			QTY.
		WIDTH	HEIGHT	DISTANCE FROM FLOOR	
W1	CASEMENT WINDOW	3'0"	4'0"	@2'6"	6
W2	FIXED WINDOW	3'0"	4'0"	@2'6"	2
W3	VERTICAL SLIDING WINDOW	3'0"	3'0"	@4'0"	1
W4	CASEMENT WINDOW	4'0"	5'0"	@2'0"	2
W5	FIXED WINDOW	4'0"	5'0"	@3'0"	3
W6	FIXED WINDOW	3'0"	4'0"	@2'0"	1
W7	HORIZONTAL SLIDER	3'0"	1'0"	@5'0"	1
W8	FIXED WINDOW	4'0"	4'0"	@2'0"	1
W9	CASEMENT WINDOW	3'0"	4'0"	@2'0"	2
S1	FIXED CURB MOUNT SKYLIGHT	2'0"	4'0"	@ TOP	2

- NOTE:
- SILL HEIGHT SHALL NOT EXCEED 44" INCHES ABOVE THE FLOOR.
 - MINIMUM NET CLEAR OPENING SHALL BE 5.7 S.F.; EXCEPTION - GRADE LEVEL WINDOW MAY HAVE A MINIMUM CLEAR OPENING 5 S.F.
 - MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24" INCHES.
 - MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" INCHES.
 - WINDOWS 2MIN. BETWEEN GLAZING AN WINDOW SILL.

SHEET NOTE

- WINDOW REPLACEMENT: STREET-FACING WINDOW MATERIAL TO BE WOOD OR ALUMINUM FRAME WOOD CLAD.
- WINDOW TO BE HAVE MIN OF 0.30 U-FACTOR W/ 0.23 SHGC



DOOR SCHEDULE					
MARK	STYLE	SIZE		MATERIAL	QTY.
		WIDTH	HEIGHT		
D1	INTERIOR WOOD DOOR	2'8"	6'8"	WOOD FRAME AND HOLLOW CORE	4
D2	INTERIOR WOOD DOOR	2'6"	6'8"	WOOD FRAME AND HOLLOW CORE	8
D3	EXTERIOR WOOD DOOR W/ GLASS WINDOW	3'0"	6'8"	WOOD FRAME & SOLID CORE W/ GLASS	1
D4	EXTERIOR WOOD DOOR	3'0"	6'8"	ALUM FRAME WITH GLASS PANEL	3
D5	INTERIOR CLOSET SLIDING DOOR	5'0"	6'8"	WOOD FRAME AND HOLLOW CORE	1
D6	GARAGE DOOR	9'0"	7'0"	WOOD PANEL	1

- NOTE:
- THRESHOLD AT DOORWAYS SHALL NOT EXCEED 0.75 INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5 INCH FOR OTHER DOORS.
 - THRESHOLD HEIGHT SHALL BE LIMITED TO 7.75 INCHES (RESIDENTIAL) WHEN THE DOOR IS AN EXTERIOR DOOR THAT IS NOT A COMPONENT OF THE MEANS OF EGRESS; THE DOOR, OTHER THAN AN EXTERIOR STORM OR SCREEN DOOR DOES NOT SWING OVER THE LANDING OR STEP.
 - ALL EXTERIOR DOOR TO BE INSTALLED WITH WOOD TRIM, U.O.N.

NO.	REVISIONS/SUBMISSIONS
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SCALE: AS SHOWN	CHECKED: C.C.
FILE:	REVIEWED: C.C.
VIEW: 2-D	CONSULTANT:

SHEET
A6.0
OF SHEETS



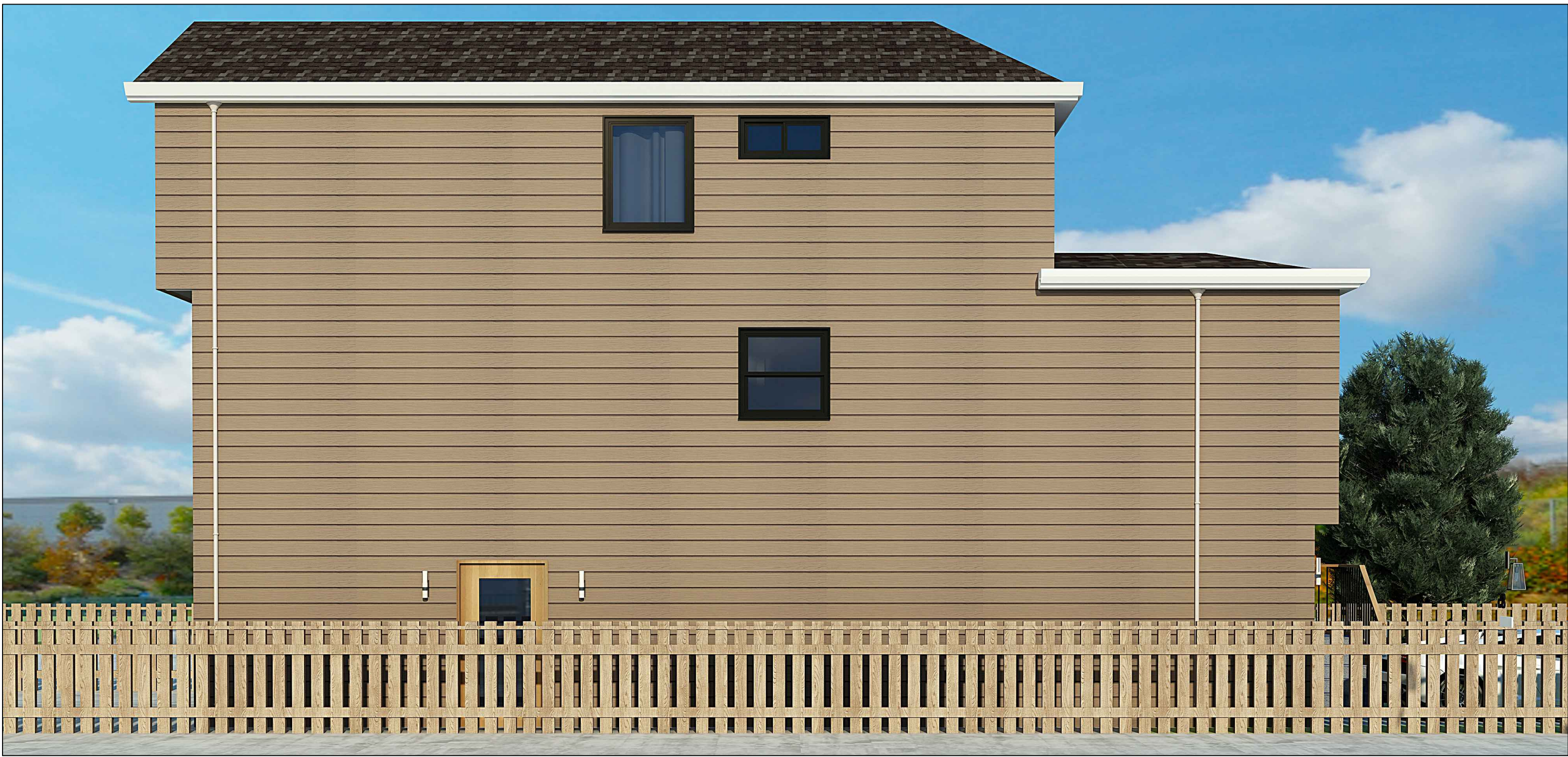
1 PROPOSED 3-D RENDER (FRONT)
NTS 73 SPRUCE STREET, MILLBRAE



2 PROPOSED 3-D RENDER (SOUTHWEST SIDE)
NTS 73 SPRUCE STREET, MILLBRAE



3 PROPOSED 3-D RENDER (REAR)
NTS 73 SPRUCE STREET, MILLBRAE



4 PROPOSED 3-D RENDER (NORTHEAST SIDE)
NTS 73 SPRUCE STREET, MILLBRAE



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SUBSIDIARY OF INNOVATIVE
CONSTRUCTION IMPLEMENT & DESIGN CO.
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SAN FRANCISCO, CA 94118
Tel: 415-762-4889
Email: INNCONDESIGN@GMAIL.COM

APPLICANT:
YIN KWAN TAM

73 SPRUCE STREET,
MILLBRAE, CA 94030

SHEET TITLE:
3-D RENDER

JOB ADDRESS:
73 SPRUCE STREET,
MILLBRAE, CA 94030

APN: 021-302-220

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DESIGNED:
PETER CHOW

DRAWN:
PETER CHOW

SCALE:
AS SHOWN

FILE:

VIEW:
2-D
SHEET

PROJECT NO.
200222

DATE:
03/02/2020

CHECKED:
C.C.

REVIEWED:
C.C.

CONSULTANT:

A7.0

OF SHEETS

RECEIVED 73 SPRUCE ST.

DEC 29 2022

CITY OF MILLBRAE
PLANNING DIVISION

MILLBRAE, CA
MATERIALS BOARD



STUCCO COLOR

KM4601.2 Dried Grass T

1ST & 3RD
FLOOR

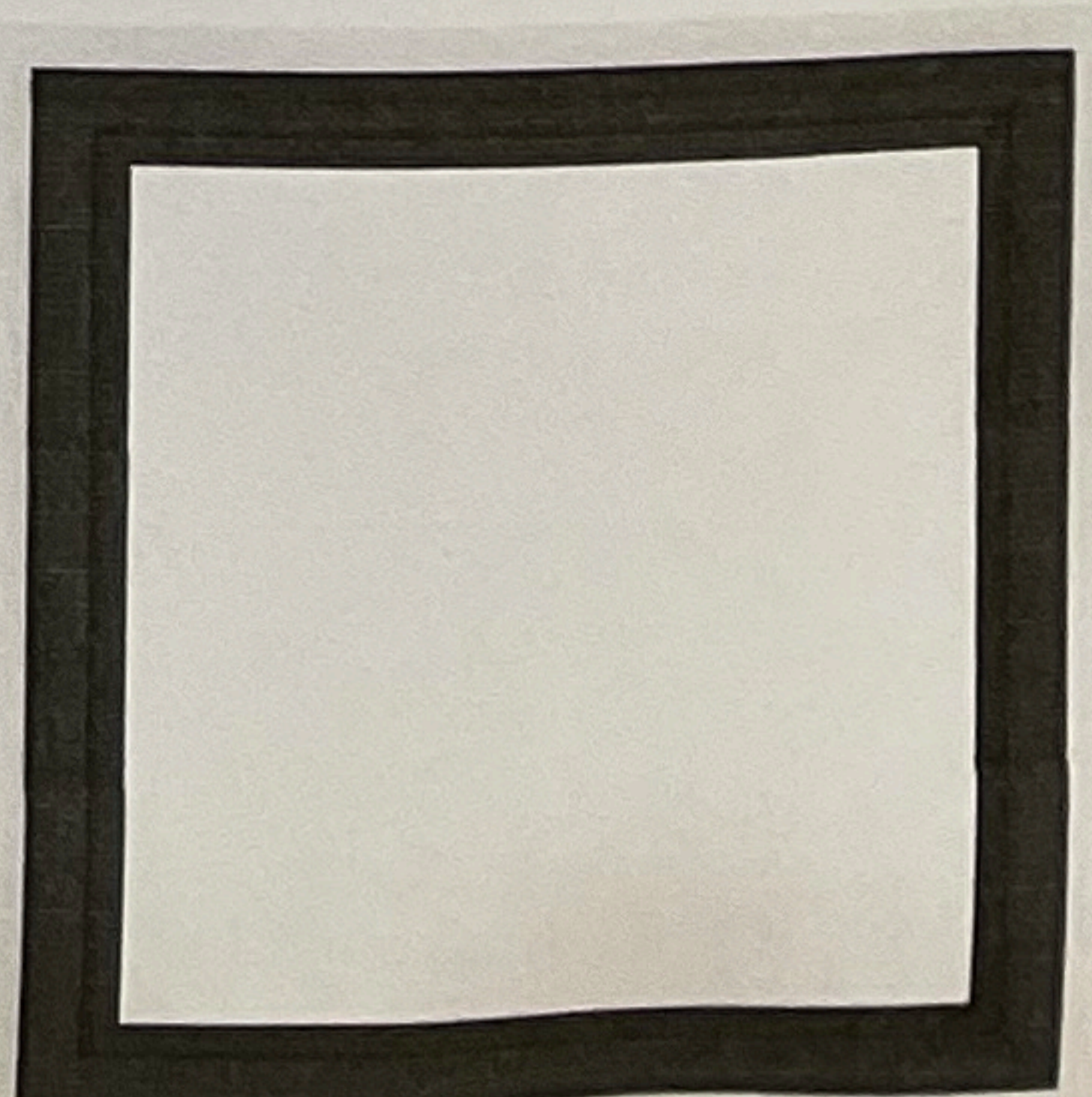
KM4608.3 Earthly Delight

2ND
FLOOR

GUTTER COLOR

KM5822.1 San Francisco Fog

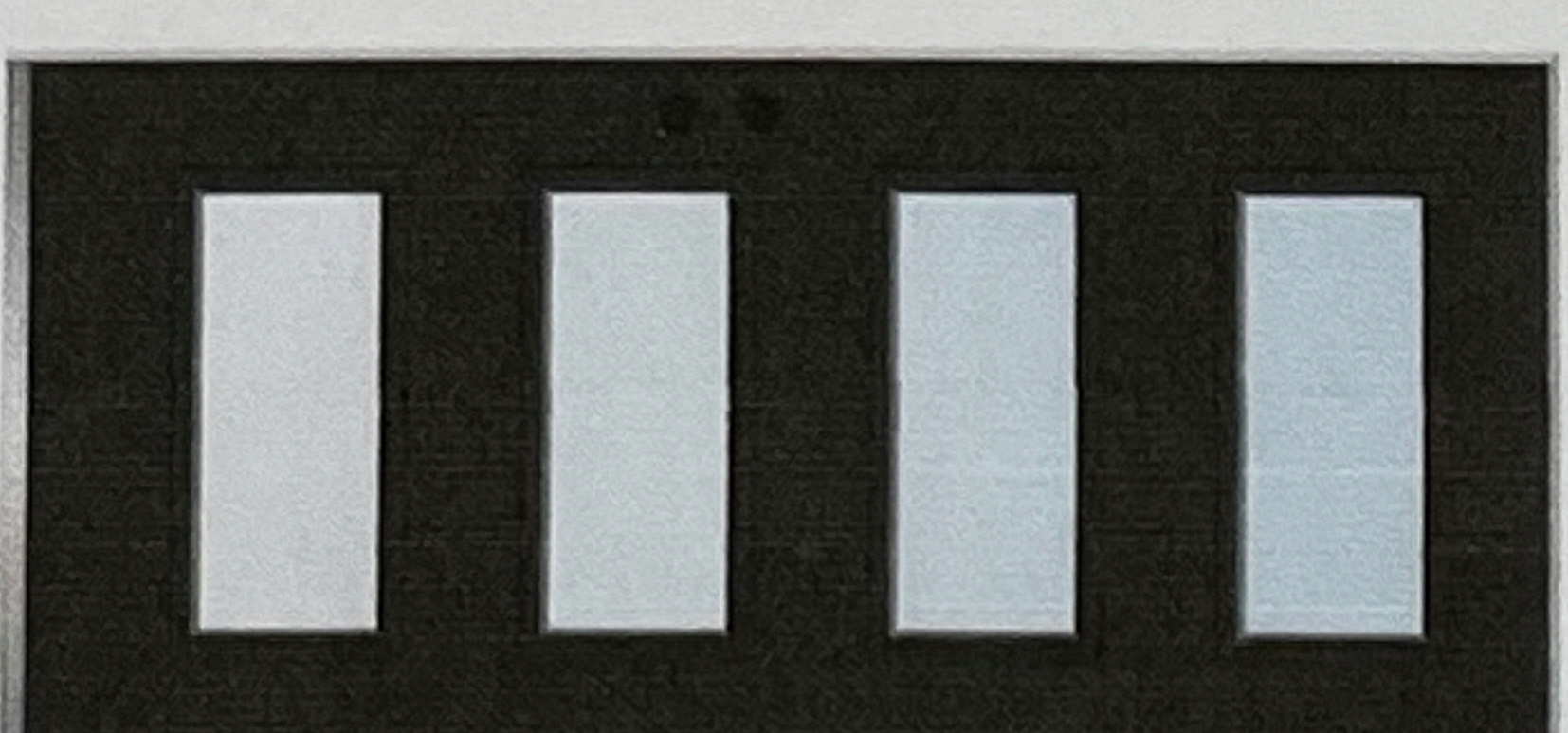
WINDOW



ROOF



DOOR



FIXTURE



GARAGE DOOR



RAILING

