

**PLANNING COMMISSION
AGENDA REPORT**



**CITY OF MILLBRAE
621 Magnolia Avenue
Millbrae, CA 94030**

SUBJECT: DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District. (Public Hearing) ATTACHMENTS: <ol style="list-style-type: none"> 1. Project Description 2. Neighbor Consultation Forms 3. Site Photos 4. Plans 5. Color & Material Board (available at meeting) 6. 906 Springfield Drive view neighbor photos 7. 903 Springfield Story Pole Photos (staff) 	Report No. 7a
	For Agenda of: July 20, 2020
	Address: 903 Springfield Drive
	Property Owner: Kevin Lu
	Applicant: Wing Lee
	Originator: Sam Fielding, Senior Planner
	Application submittal date: January 25, 2019 Application deemed complete date: June 24, 2020 Prior Planning Commission meeting date(s): None

REPORT TYPE: ACTION <input checked="" type="checkbox"/> INFORMATIONAL <input type="checkbox"/> ITEM TYPE: CONSENT <input type="checkbox"/> PUBLIC HEARING <input checked="" type="checkbox"/> EXISTING BUSINESS <input type="checkbox"/> NEW BUSINESS <input type="checkbox"/>
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EXECUTIVE SUMMARY

The proposed project involves the partial demolition of an existing two-story residence, construction of lower floor and second floor additions approximately 1,376 square feet, to an existing 3,386 square foot (sf) home with a two car garage located at 903 Springfield Drive. The lower floor includes an attached Accessory Dwelling Unit (ADU). The ADU is not subject to design review and can be permitted under a building permit after the entitlements for the primary home is approved by the Planning Commission. The proposed project meets all development standards required for the Single-Family Residential (R1) Zone, except for a SETBACK EXCEPTION for the upper floors in order to renovate the residence so the design is compatible with the existing building and neighboring homes. The subject property is a 15,432 sf lot, pie shaped lot with a backyard consisting of a downward slope toward the east. Due to the 5,524 sf sloped area greater than 30% the net developable site is 9,908 square feet. The floor area ratio (FAR) for the project is calculated using 9,908 square feet.

The new proposed FAR for the project would include a basement ADU (not under design review) total of 1,008 sf, first floor total of 2,611 sf and second floor total of 1,613 sf, for a total gross floor area of 5,232 sf (including the 757 sf garage area). The renovated house would have a 20% lot coverage (50% allowed) and a 53% floor area ratio (55% allowed) and would be 30' in height (30

feet allowed). See the Zoning Compliance Table on page 4 for all zoning calculations.

RECOMMENDATION

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the application for a DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District, subject to the attached Conditions of Approval.

NEIGHBORHOOD AND SURROUNDING USES

The project is located at 903 Springfield Drive at the end of a cul-de-sac street, east of Alp Way, in the Glenview Highlands subdivision, in the east hills area of Millbrae. El Capitan Drive is located directly adjacent and below the lot on the eastern side of the property. Both El Capitan Drive (to the east) and Clearfield Drive (to the south) are screened by a large stand of cedar, pine, cypress and oak trees in the backyard of the residence at 903 Springfield. All of the existing trees will remain untouched. As a condition of approval, tree protection measures by a licensed arborist shall be installed and verified prior to the issuance of building permits. The majority of the lots in the area are defined as Low Density Residential in the General Plan and are rectangular lots, 7,500 sf in size with attached two-car garages. The three lots at the end of Springfield Drive are larger, and range from 13,200 sf to 16,783 sf in size. Most residences are two-story, ranch style homes built in the late 1960s to early 1970s. Several nearby, two-story homes on Springfield Drive have enclosed, second-story front balconies and were built with no second floor setbacks.

Project Address: 903 Springfield Drive					
	Site	North	South	East	West
General Plan	Low Density Residential	Low Density Residential and Large Lot	Low Density Residential	Low Density Residential	Low Density Residential
Zoning	R-1	R-1, R-1LL	R-1	R-1	R-1

PROPOSED PROJECT

Existing Residence

The existing a two story residence includes: a first floor consisting of a covered front entry porch, foyer, stairway to the second floor, one bathroom, hallway connecting to one bedroom with closet, a living room, kitchen open to family room with fireplace (to be removed), dining room open to uncovered wood deck and sunroom open to second uncovered deck. The front hallway connects to the bedroom and the two-car garage. The existing front yard landscaping consists of a grass lawn with plant hedges at entryway and a two-car driveway. The second floor contains four bedrooms with closets, two bathrooms, hallway connecting the bedrooms and an uncovered wood porch (to be removed) off of the master bedroom. The existing exterior materials and finishes include cement stucco, wood siding, vinyl windows, brick chimney with wood fence with existing

shingled hip and gable roof. The property site contains concrete pathways on the north and south sides of the house to the rear of the L-shaped house connecting two concrete patios and two ground level wood decks. There is one small second floor uncovered wood porch. The backyard slopes steeply to the east and there are three wood retaining walls and one wood post wall which will be removed. There are 19 existing trees (a mix of pine, cedar, cypress and oak species) located in the rear east and southeast portion of the lot, which will remain undisturbed. As a condition of approval, tree protection measures by a licensed arborist shall be installed and verified prior to the issuance of building permits (see Special Condition A). The existing roof pitch is 3:12 with an open gable roof type.

Proposed Residence

The proposed project would partially demolish the first and second floor of the residence, construct a new first and second floor and a new lower level accessory dwelling unit with a separate entry (not under design review). The new residence would be primarily within the existing building footprint. The first floor will include: covered patio entry, foyer, stairway to the second floor, front guest room/den, hallway connecting to bedroom with closet and bathroom and access to uncovered deck, entertainment room, kitchen open to dining room and living room with access to a covered above grade deck. The entry hallway will also provide separate access to a three car garage with space for laundry facilities and a half-bathroom. The second floor will have three bedrooms with closets, three bath rooms a multipurpose room and a small uncovered deck off of the rear bedroom. The lower level ADU will consist of two bedrooms with closets, two bathrooms and a kitchen open to living room. Access will be provided by side staircase down to a rear entrance from the rear at grade uncovered deck.

The project will enhance the front yard landscaping by installing new permeable paved walkway and driveway, drought tolerant plantings along the façade of the front of the building, grass lawn and two front yard trees (acacia stenophylla).

ANALYSIS

Design Review

Section 10.05.2500 (Design review permits, B.1.d) of the Millbrae Municipal Code requires Design Review, pursuant to the City's adopted Residential Design Guidelines, for which a Design Review Permit is requested. The Design Guidelines include generalized review criteria that seek to integrate additions into the existing character of the structure and neighborhood, while respecting the privacy, views, and solar access of neighboring properties. This project requires Design Review because the applicant is adding a second floor greater than 500 square feet to the residence with a setback exception request to allow less than the required second floor setback.

The existing two story residence is a ranch style design home with asphalt composite shingle roofing, similar to adjacent homes in the subdivision. The front exterior includes tan wood siding walls with white roof lines and white painted wood window trim, sliding and fixed windows and a white painted wood garage. There is an existing 3:12 sloped roof with open gable roof type.

The new exterior materials for the resident will eliminate some of the exterior walls to increase the use of natural light. (A material board is available at the Planning Commission meeting). The

exterior material will utilize sustainable cladding materials which are UV resistive and thermally stable with lower maintenance requirements. The landscaping will be improved with the existing driveway replaced with permeable surface. The majority of the landscape species for the front and sides of the residence will be drought-tolerant plants to minimize irrigation.

The proposed residence exterior finish will include: first floor white panel exterior concrete wall (“white satin”) with grey (“grey satin”) exterior panel form for the front entry inset. The second floor exterior will consist of composite wood panel (“royal mahogany”) siding and will have three new dormers added to the front so the horizontal roof form is broken up for visual interest. The owner has considered the privacy of adjacent neighbors by designing the house with no direct new windows facing the bedroom windows of the abutting neighbors. In addition, the renovated residence will closely match the existing house footprint and the building massing at the front will remain the same, with no increase of height as perceived from Springfield Drive.

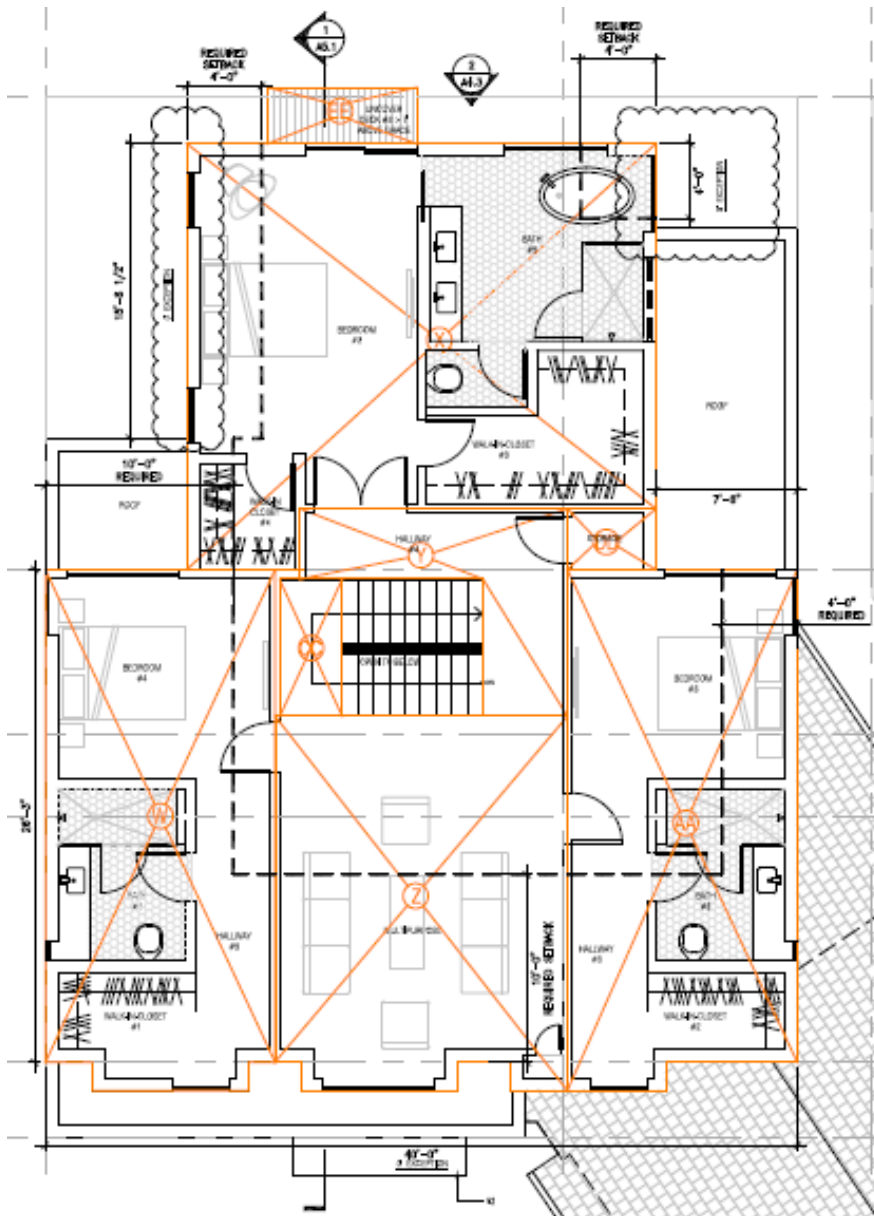
The first and second floor windows will be dark bronze anodized clad aluminum windows. The entry will have a wood-like steel gate to a covered porch entry. The front three-car garage door will have wood siding to match the second floor exterior wall siding. The front landscape will have a permeable pavement driveway and new permeable pavement walkway to the front entrance of the house. The proposed roof will be a 3:12 sloped roof with combination open gable hip type. New front yard landscaping will include ground cover plant along the exterior of the building and two new trees (*acacia stenophylla*) located at the north and south sides of the front yard.

Setback Exception

The applicant is requesting a setback exception on the second floor north and south sides and west front of the residence. The applicant is requesting no setback (0') on the rear north and south sides, where 4 feet setbacks are required and no setback (0') in the front where a 10' setback is required. Due to the unique triangular shape of the corner lot and steep non-developable rear lot, space would be limited for a second floor addition to the home with the side and front setbacks. The property slopes steeply (greater than 30%) at the rear of the house, therefor expanding on the rear portion of the lot is not feasible. Expanding the residence on the second floor without setbacks is the best option. Due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled so that it does not directly face the adjacent neighbors.

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Floor plan diagram showing second floor exception areas



The design and landscaping of the house will primarily match the existing building footprint, which currently has no setbacks, and the design will be compatible with the existing style of residences in the neighborhood, that also do not have setbacks. Finally, the applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.

Story Pole Evaluation

The adjacent neighbor located to the north of the project site (906 Springfield Drive), expressed concerns about the projects' impact to their Bay views and light. The applicant spoke with the adjacent neighbor when they were designing the plans regarding their concerns about views and sunlight and revised their plans to reduce the rear two-story addition footprint so that it does not extend further than the existing rear patio. Subsequent to the plans submitted to staff, the adjacent neighbor continued to express concerns about views and sunlight impacts.

To evaluate the neighbors' concerns, staff requested the adjacent neighbor submit photos of views from the first and second floors of the primary rooms (living room and bedrooms). In addition, staff requested the applicant install story poles to evaluate the height and mass of the proposed project. Story poles are used to depict the elevations and silhouette of a proposed structure or an addition to an existing structure, and are required when deemed necessary to assist neighbors, staff and decision makers in the evaluation of a project requiring Planning Commission approval. The story poles provide the project applicant, neighbors, City staff, and the Planning Commission the ability to view the size and shape of the proposed structure in order to objectively assess the project's basic appearance and physical impacts.

According to the Millbrae General Plan Land Use Goals and Policies, to preserve the quality of residential neighborhoods, special attention is given to the protection of views from nearby properties (Millbrae General Plan Land Use Goal 1, (1)) and residential design that strives to achieve the location and design of structures and landscaping improvements so as to minimize the obstruction of primary views (defined as from living and bedrooms) from structures on neighboring properties. **Some minor loss of view may be consistent with this policy if necessary to protect a property right.** (Millbrae General Plan Land Use Goal 2.2 (f)).

Staff evaluated neighbor concerns regarding impacts to bay views and sunlight from the proposed two-story rear addition based on the following: (1) a staff site visit to view the story poles and evaluation of the addition impacts based on the installed poles, (2) submitted view photos from 906 Springfield Drive, and (3) the applicant's plans. Staff visited the site with the story poles on the morning of June 18, 2020. After completing the evaluation, staff concluded that the plans submitted by the applicant proposing a two story horizontal addition in the same footprint of the existing building including the rear patio, minimizes view impacts from the adjacent neighbor. Based on the site visit, staff observed that even with the rear addition, as indicated by the story poles, the adjacent neighbors have nearly a 170 degree easterly view of San Bruno Mountain and the bay to the east. To the extreme south the view is obstructed by existing trees and hillside ridges of Millbrae. In addition, at 10 am in the morning, there was ample sunlight shining on the adjacent home side rooms and as the sun passes higher, it would be blocked by the existing residential structure at 903 Springfield. It is staff's conclusion that the rear two-story addition will not significantly reduce sunlight to the adjacent property owners and will have a less than significant impact on the adjacent neighbor views. The adjacent neighbors will still have majority unobstructed views eastward from both first and second floors of the residence (See Plan Sheet A2.0 and story pole site photos)

ZONING COMPLIANCE

The proposed addition complies with minimum and maximum development standards as follows (existing non-conforming in *italics*; proposed non-compliant in ***bold italics***)

	Required	Existing	Proposed
Lower Floor (South) Side Setback	5 Ft.	60 Ft.	60 Ft.
Lower Floor (North) Side Setback	5 Ft.	5 Ft.	5 Ft.
Lower (East) Rear Setback	10 Ft.	51 Ft.	47 Ft.
1 st Floor Front (West) Setback	20 ft.	<i>19' – 25'</i>	<i>19'-25'</i>
1 st Floor (North) Side Setback	5 ft.	5 Ft.	5 Ft.
1 st Floor (South) Side Setback	5 ft.	6' - 3"	6' – 3"
2 nd Floor Front (West) Setback	10 ft.	<i>0'</i>	<i>0'</i>
2 nd Floor (North) Side Setback	4 ft.*	<i>0'</i>	<i>0'</i>
2 nd Floor (South) Side Setback	4 ft.*	<i>0'</i>	<i>0'</i>
Max. Building Height	30 ft.	21' – 6"	30'
Min. Rear Yard Open Space	1,000 sf	5,085 sf	5,085 sf
Lot Area (min. 5,000 sf required)	5,000 sf	15,432 sf	9,908 sf (developable)**
Max. Lot Coverage	50% (7,712 sf)	23% (3,486 sf)	20% (3,602 sf)
Max. Floor Area Ratio	55% (5,449 sf)	39% (3,856 sf)	53% (5,232 sf)
Parking Spaces	2 garage spaces	2 garage spaces	3 garage spaces, 2 driveway spaces
Garage Area	400 sf	736 sf	757 sf

*Reduction factor second floor setback reduced by 2 feet for each 1 foot that ground floor setback exceeds 5 foot minimum, for a maximum reduction of 6 feet. (10'-6' = 4 ft.)

**Net site area available for development is 9,908. 15,432 sf lot area minus 5,524 sf (slope area greater than 30%) = 9,908 sf. 9,908 sf is net site area for development used for FAR calculation.

The project meets required development standards Single-Family (R1) residential zone except for the upper floor setback requirements. The applicant is requesting an upper floor setback exception for the second floor due to the unique triangular lot, existing building footprint and steep rear slope which makes it not feasible to build the addition to the rear of the existing home. The second floor addition without setback will balance with the existing architectural design and massing of the residence. The proposal complies with the zoning regulation for maximum building height 30' (where 30 feet is allowed), lot coverage 20% (where 50% is allowed). The FAR would be 53% (where 55% is allowed).

Neighborhood Character

The project site is an interior lot in the Single Family Residential (R-1) zoning district. Architecture styles in the surrounding neighborhood consists of a ranch style homes with a mixture of open gable style roofs built in the late 1960s and early 1970s. The majority of the residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick siding

exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks.

Parking

There is an existing two-car parking garage at the property in compliance with the parking required for the Single-Family (R1) residential zone. The project proposes a three car garage and there is additional room for two surface parking spaces in the driveway for a total of five parking spaces.

Public Notice Requirement

The City of Millbrae Community Development Department follows legally required public noticing requirements outlined in the Municipal Code Section 10.05.2900 including: publishing the Planning Commission meeting date not less than ten days prior to the hearing, in a newspaper of general circulation in the city and mailing notice cards to property owners within a 300 foot radius of the subject property. In addition, staff posts a staked notice on the subject property and notices in at least three public places along the property street at least ten days prior to the meeting. At least three days before the meeting, staff posts the project meeting date on the City website Planning Commission calendar; on the bulletin boards at City Hall and at the Millbrae Public Library bulletin board.

Neighborhood Response

In accordance with the City of Millbrae Community Development Departments' Submittal Requirements for Residential Development to notify each adjacent property owner abutting the project site, a total of two adjacent residences were notified by the applicant about the proposed project and responded as follows:

Response	#	Address	Date Sent	Staff Received
Support	0			
Oppose	2	906 Springfield Drive (Certified mail and form) 911 Springfield Drive (Certified mail and form)	4/20/20 4/20/20	5/4/20 5/4/20
No response				

Two (2) adjacent neighbor consultation forms were sent by certified mail by the applicant and two adjacent neighbors are opposed to the project. The resident at 906 Springfield Drive (located north of the project) expressed opinion that building is too big and will cause foundation and landslide problems. He also states that rear addition will block his view and devalue his property. The resident at 911 Springfield Drive is opposed to the project because she is opposed to rental property in single family dwellings and believes there will be an on-street parking problem on the street.

906 Springfield: To address the adjacent neighbors' concerns about views and sunlight, staff requested the applicant install story poles to evaluate objectively the height and mass of the proposed two-story, rear horizontal addition. Staff visited the site to evaluate the story poles and Planning Commissioners were also invited for a site visit. Staff evaluated the adjacent neighbor concerns about views and sunlight and based on architecture plans, and research using aerial

photography and site photographs, determined that there would be less than significant impact to views. The adjacent owner also expressed concerns about potential for foundation and landslide problems. The applicant was required to submit a Geotechnical Study which was reviewed by the City consultant and staff has determined that the project as designed may proceed based on the condition that the applicant meet all recommendations and conclusions outlined in the Geotechnical study, during the Building review phase of the project.

With respect to view impact concerns expressed by the property owner at 906 Springfield Drive, the applicant worked with the neighbor to adjust the design to minimize view and sunlight impacts to their property. The Municipal Code directs staff to work with applicants to minimize impact to views (Bay views) from principle rooms of residence (living or bedrooms) where feasible. In this case, the applicant reduced the horizontal addition and is adding a rear addition within the existing footprint of the house and rear deck. There is a 5-foot triangular sliver of the corner of the new addition that would partially obstruct the view of trees facing south from the second floor porch of 906 Springfield Drive, but this represents a very narrow impact to the existing 180 degree view. Staff requested the applicant install story poles so staff could evaluate the height and mass objectively. Staff evaluated the view based on photos provided by the adjacent neighbor and story pole site visit and estimates that the majority of the views east towards, San Bruno Mountain, the Bay and Millbrae below, would remain unobstructed. (See attached photos provided by 906 Springfield Drive and staff story pole photos) Based on the evaluation of the story poles site visit, plans and photos, staff concluded that the proposed rear addition does not significantly impact bay views or sunlight. (See Story Pole Evaluation on pg. 4 of the report)

911 Springfield Drive: Staff responded to the property owner at 911 Springfield Drives' concerns about rental property by telephone in February, 2020 and explained that the proposed residence remodel and addition is not a rental home. According to the applicant, the property owner is remodeling and expanding the single family residence to accommodate their family when they move from South San Francisco to Millbrae, where their two sons will be enrolling into school. The applicants are also adding a rear, ground floor accessory dwelling unit (ADU) which meets state ADU requirements, is permitted by right, and not under review by Planning Commission. The proposed project will provide the required parking for the size of the single family residential home of three car garage parking space and have room for two more surface parking spaces in the driveway, therefor there should not be any impact to on-street parking demand.

REQUIRED FINDINGS

Design Review

Pursuant to Section 10.05.2500.C.2 of the Millbrae Municipal Code the design review application materials shall be evaluated by the planning commission. The following findings are required under this Section Code, for the Planning Commission to approve the requested Design Review Permit:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

Architecture styles in the surrounding neighborhood consists of ranch style homes with open gable style roofs built in the 1960s and 1970s. The residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick veneer exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks. The existing front yard landscaping of grass lawn will be improved with two new small trees planted on both the north and south sides of the front yard. The first and second story addition will match the existing footprint of the residence but will have a more modern style with combination of first floor stucco and second floor wood siding and three front dormers. The front dormers will enhance the residence, while being compatible with the neighboring residence architectural styles. The proposed two-story, single-family residence architecture, landscaping and general appearance is in keeping with the character of the neighborhood.

b. The plans comply with all applicable development regulations;

The project meets required development standards for the Single-Family (R1) residential zone with exception of the second floor setback exceptions request in order to have an architectural style the matches the existing building footprint, while being compatible with neighboring residences. The proposal complies with the zoning regulation for maximum building height (30 feet, where 30 feet are allowed), lot coverage (20% where 50% is allowed) and floor area ratio (53% where 55% is allowed). The project provides three-car garage parking (two car garage is required) and space for two uncovered parking space in the driveway for a total of five off-street parking spaces.

c. The project complies with the intent of the design guidelines, including that the project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

The subject property is located at the east cul-de-sac end of Springfield Drive, east of Alp. The new structure will result in an overall building height of 30 feet compared to the existing height of 21 feet – 6 inches, an increase of 8 feet – 4 inches. There is a large downward sloping, tree covered backyard, behind the subject property and no visual impacts to neighboring views were identified by staff. Based on submitted plans, site visit, and story pole evaluation, no significant view impacts were identified as a result of the proposed project.

d. The proposal is not detrimental to the orderly, harmonious, and safe development of the City and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.

The proposal will result in a partial demolition of a two-story home and construction of a lower level ADU (not part of design review) and new first and second story addition within the existing building footprint in the Single Family Residential (R-1) Zoning District. The project complies with all standards except for a second story setback exception. The setback exception is requested to match the architectural style and footprint of the existing residence and neighboring residences, none of which have second story setbacks. The

project will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition is not detrimental to the orderly, harmonious, and safe development of the City and will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

Setback Exception

The following findings are required under Section 10.05.2530.D. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Second Floor Setback Exception:

- 1- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.**

The proposed use is a single-family addition, in an R-1 (Single-Family) zoning district, that does not fully comply with the minimum required upper floor setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The applicant is requesting a setback exception on the second floor sides and front of the residence. The applicant is requesting no second floor setback (0') on the sides and front where four (4) feet setbacks are required on the sides and a 10' setback is required at the front. The applicant requests the exception to design the house to match the existing building footprint, which has no setbacks, and to be compatible with the existing style of residences in the neighborhood that do not have setbacks. Due to the unique triangular shape of the corner lot, space is limited for a second story addition with side and front setbacks. The property slopes steeply at the rear of the house, thus expanding the residence on the first floor in the rear is not feasible and adding a second story rear addition is the best option. Regarding view obstructions, due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (toward the east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled away from adjacent property owners, so that it does not directly face the adjacent neighbors. The applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.

- 2- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

The proposed use is a single-family addition, within an R-1 Zoning District, that does not fully comply with the minimum required upper floor front and side setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The proposed second story addition is primarily at the rear of the building and matches the existing building footprint which does not have upper floor setbacks. Due to the triangular lot and steep rear slope (greater than 30%) at the rear of the residence which is considered not developable by Code, it is preferable to

fully use the second floor space for the addition. On south side of the subject property, the proposed upper story is located over 48 feet away from the south side neighbor, and the required north side setback. The project will be compatible with the property and improvements existing or proposed upon the project site.

ENVIRONMENTAL REVIEW

This project has been determined to be Categorically Exempt pursuant to Section 15301 Class 1, (e) of the California Environmental Quality Act in that it allows for an addition which will not result in an increase of more than 10,000 square feet.

PLANNING COMMISSION ACTION

Staff recommends that the Planning Commission review the project, consider the public testimony and the Findings, as presented, and consider adopting the attached Resolution approving the application for a DESIGN REVIEW PERMIT to allow a lower floor addition and partial demolition and new construction of a two-story residence and a SETBACK EXCEPTION to allow less than the minimum required upper floor setbacks of a two-story, single-family residence in the Single-Family (R-1) Zoning District.

RESOLUTION NO.

RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILLBRAE APPROVING A DESIGN REVIEW PERMIT TO ALLOW A LOWER FLOOR ADDITION AND PARTIAL DEMOLITION AND NEW CONSTRUCTION OF A TWO- STORY RESIDENCE AND A SETBACK EXCEPTION TO ALLOW LESS THAN THE MINIMUM REQUIRED UPPER FLOOR SETBACKS OF A TWO-STORY, SINGLE- FAMILY RESIDENCE IN THE SINGLE-FAMILY (R-1) ZONING DISTRICT. (PUBLIC HEARING)

CITY OF MILLBRAE

WHEREAS, the applicant has filed Project # 2019-6 to request Design Review to allow a lower floor addition and partial demolition and new construction of a two-story residence to a two-story residence in the Single-Family (R-1) Zoning District at 903 Springfield Drive; and

WHEREAS, the proposal will consist of a new basement and partial demolition and renovation of a two story second story addition to a two-story residence with new exterior finishes and new roofing for the new structure; and

WHEREAS, the Planning Commission found that this project is consistent with the City's General Plan, Development Code, and has determined that the project is categorically exempt per Section 15301 of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, this Planning Commission, having considered the evidence received at the public hearing duly noticed, desires to recommend approval of the project in the manner proposed and referenced above and in accordance with the following findings;

Design Review:

The following findings are required under Section 10.05.2500.C.2. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Design Review:

- a. The architectural, landscaping, and general appearance of the proposed building or structure and grounds are in keeping with the character of the neighborhood;**

Architecture styles in the surrounding neighborhood consists of ranch style homes with open gable style roofs built in the 1960s and 1970s. The residences in the neighborhood are two-story homes with a combination of stucco, wood trim and brick veneer exterior and composite shingle roofs. Most two-story homes in the subdivision do not have second story setbacks. The existing front yard landscaping of grass lawn will be improved with two new small trees planted on both the north and south sides of the front yard. The first and second story addition will match the existing footprint of the residence but will have a more modern style with combination of first floor stucco and second floor wood siding and three front dormers. The front dormers will enhance the residence, while being compatible

with the neighboring residence architectural styles. The proposed two-story, single-family residence architecture, landscaping and general appearance is in keeping with the character of the neighborhood.

b. The plans comply with the intent of adopted design guidelines and regulations;

The project meets required development standards for the Single-Family (R1) residential zone with exception of the second floor setback exceptions request in order to have an architectural style that matches the existing building footprint, while being compatible with neighboring residences. The proposal complies with the zoning regulation for maximum building height (30 feet, where 30 feet are allowed), lot coverage (20% where 50% is allowed) and floor area ratio (53% where 55% is allowed). The project provides three-car garage parking (two car garage is required) and space for two uncovered parking spaces in the driveway for a total of five off-street parking spaces.

c. The project will not cause a significant visual impact to neighboring views from principal rooms of a residence (unless it is proven by the applicant that there is no other viable or cost-effective alternative);

The subject property is located at the east cul-de-sac end of Springfield Drive, east of Alp. The new structure will result in an overall building height of 30 feet compared to the existing height of 21 feet – 6 inches, an increase of 8 feet – 4 inches. There is a large downward sloping, tree covered backyard, behind the subject property and no visual impacts to neighboring views were identified by staff. Based on submitted plans, site visit, and story pole evaluation, no significant view impacts were identified as a result of the proposed project.

d. The proposal is not detrimental to the orderly, harmonious, and safe development of the City and will not impair the desirability of investment or occupation in the neighborhood in which the building or structure is proposed to be erected.

The proposal will result in a partial demolition of a two-story home and construction of a lower level ADU (not part of design review) and new first and second story addition within the existing building footprint in the Single Family Residential (R-1) Zoning District. The project complies with all standards except for a second story setback exception. The setback exception is requested to match the architectural style and footprint of the existing residence and neighboring residences, none of which have second story setbacks. The project will be required to comply with all applicable building and fire safety codes. Therefore, based upon the above findings, the addition is not detrimental to the orderly, harmonious, and safe development of the City and will not decrease the desirability of the neighborhood or disrupt the orderly development of the City.

Setback Exception

The following findings are required under Section 10.05.2530.D. of the Millbrae Municipal Code in order for the Planning Commission to approve the requested Second Floor Setback Exception:

- 1- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.**

The proposed use is a single-family addition, in an R-1 (Single-Family) zoning district, that does not fully comply with the minimum required upper floor setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The applicant is requesting a setback exception on the second floor sides and front of the residence. The applicant is requesting no second floor setback (0') on the sides and front where four (4) feet setbacks are required on the sides and a 10' setback is required at the front. The applicant requests the exception to design the house to match the existing building footprint, which has no setbacks, and to be compatible with the existing style of residences in the neighborhood that do not have setbacks. Due to the unique triangular shape of the corner lot, space is limited for a second story addition with side and front setbacks. The property slopes steeply at the rear of the house, thus expanding the residence on the first floor in the rear is not feasible and adding a second story rear addition is the best option. Regarding view obstructions, due to the slope of Springfield Drive, each residence is tiered as the street slopes downward (toward the east), thus reducing potential view blockage or privacy intrusion of the proposed addition. The addition is located primarily in the rear portion of the building and is angled away from adjacent property owners, so that it does not directly face the adjacent neighbors. The applicant will add two new trees in the front yard which will further screen the proposed second story addition. The granting of the second floor setback exception will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel.

- 2- The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.**

The proposed use is a single-family addition, within an R-1 Zoning District, that does not fully comply with the minimum required upper floor front and side setbacks under Millbrae Municipal Code Section 10.05.0620.D.2. The proposed second story addition is primarily at the rear of the building and matches the existing building footprint which does not have upper floor setbacks. Due to the triangular lot and steep rear slope (greater than 30%) at the rear of the residence which is considered not developable by Code, it is preferable to fully use the second floor space for the addition. On south side of the subject property, the proposed upper story is located over 48 feet away from the south side neighbor, and the required north side setback. The project will be compatible with the property and improvements existing or proposed upon the project site.

NOW, THEREFORE, BE IT FOUND, DETERMINED AND RESOLVED BY THE PLANNING COMMISSION THAT:

1. The recitals set forth above are true and correct and are hereby incorporated herein by this reference and full set forth in their entirety.
2. The approval of the Design Review Permit and exception application will not be detrimental to the public health, safety, and general welfare.
3. This resolution shall be effective immediately.

PASSED AND ADOPTED as a Resolution of the City of Millbrae Planning Commission at the public meeting held on the 20th day of July, 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIR

ATTEST:

SECRETARY

CONDITIONS OF APPROVAL

Project: 903 Springfield Drive

Date: July 20, 2020

GENERAL REQUIREMENTS:

1. This approval and all rights hereunder shall be effective for a period of one (1) year from the date of approval. The Planning Commission may extend this approval period, not to exceed three years, if a written request is made and submitted by the property owner prior to the expiration of the approval period (Section 10.05.2550) and a notice of a public hearing has been made pursuant to Section 10.05.2900 (D) of the Millbrae Municipal Code. Applicant shall photocopy these Conditions of Approval onto the building permit application, at time of submittal, to the Building Division.
2. Violation of any of the conditions of this permit shall be cause for the issuance of an infraction or citation, prosecution, and/or revocation and termination of all rights under the permit, by the City of Millbrae.
3. In the event of transfer of ownership of the property involved in this application, the new owner shall be fully informed of the use and development of said property as set forth by this permit together with all conditions, which are a part thereof. These specific requirements must be recorded with all title conveyance documents at time of closing escrow.
4. Site development, including landscaping, shall conform to the approved plans on file in the City of Millbrae Community Development Department. No significant changes shall be made to the approved plans without prior review and approval by the Planning Commission.
5. All landscaped areas must be maintained in a neat, healthy, and growing condition, including public parkways and street trees.
6. The property shall be developed and maintained in a neat, quiet, and orderly condition and in a manner so as not to be detrimental to adjacent properties and occupants. This shall encompass the maintenance of the exterior facades of the building and all landscaping surrounding the building.
7. All structures shall conform to California Building Code requirements and all required permits from the City of Millbrae Building Division must be secured prior to initiating development under the terms of this permit.
8. Any off-site improvements found to be damaged shall be repaired and/or replaced as required by the City of Millbrae Director of Public Works.
9. All required utility easements shall be provided as indicated by the department or agency having jurisdiction.

10. The project shall comply with all applicable “City of Millbrae Public Works General Conditions of Approval” (copy provided to applicant). This condition includes project compliance with the Public Works Construction and Demolition Reuse and Recycling Requirements, including submittal of planning forms to the City’s Recycling Coordinator prior to issuance of a Building Permit.
11. Prior to the framing inspection, a licensed surveyor shall shoot the height of the roof ridge and certify in writing that the overall building height is per the approved plans. Said certification shall be submitted to the Building Division prior to the framing inspection being scheduled.

SPECIAL CONDITIONS:

- A. Tree protection measures by a licensed arborist shall be installed and verified by staff prior to the issuance of building permits.
- B. Any proposed deviation from the Planning Commission approved plans/exhibits shall be shown to City staff for a determination of significance. All such deviations deemed significant by City staff shall be reviewed and approved by the Planning Commission and reflected in revised building plans prior to construction.
- C. If any existing roof elements or exterior walls designated on the approved plans to remain should later need to be removed or in any way altered, the applicant shall first notify the Building Official before undertaking such work to ensure that the construction plans are revised accordingly. Depending upon the extent of such unanticipated work, Planning Commission approval, in the form of an amendment to this approval, may be required prior to revising the construction plans.
- D. Prior to issuance of any building permits, all new construction shall comply with all applicable building and fire safety codes. This condition shall also apply to the alteration of existing construction in the event that such existing construction is not already fully code compliant.
- E. Hours of construction are limited from Monday to Friday 7:30 A.M. to 7:00 P.M., Saturday 8:00 A.M. to 6:00 P.M., with Sunday and Holidays from 9:00 A.M. to 6:00 P.M.

Millbrae City Planning Department
621 Magnolia Avenue
Millbrae, CA 94030

April 22, 2020

RE: PROJECT DESCRIPTION OF PLANNING APPLICATION FOR 903 SPRINGFIELD DRIVE

Dear Sir/Madam,

We are writing you in regards to Residential Design Review Submittal requirements of the proposed application at 903 Springfield Drive, Millbrae, CA 94030 for design review application with request for setback exception at the second floor for following locations.

- Along the front (west) elevation due to new dormer addition
- North elevation addition at northeastern corner,
- South elevation addition at the southeastern corner

The north and south wall at the second floor are existing walls and they are considered as non-compliant walls. No request for setback exception is needed.

Such second story wall condition are consistent with the development pattern in the existing block. While the second floor walls are setback from the front for some of the dwellings in the same block, findings confirmed that none of the existing dwellings in the block is completely compliant with the second floor setback guidelines.

The setback exception request will meet the required findings for a setback exception and consist with the Millbrae Municipal Code 10.05.2530 Exception. Per Millbrae Municipal Code 10.05.2530 Exceptions.

D. Finding. The exception application materials should be evaluated by planning commission in relation to the following findings required in order to approve any exception:

1. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will not, under the circumstance of the particular case, be detrimental to property and improvements existing upon any abutting parcel; and

2. The deviation granted from the minimum required or maximum allowable development standard prescribed for the zoning district in which the project site is located will, under the circumstance of the particular case, be compatible with the property and improvements existing or proposed upon the project site.

The project is a major renovation and addition to an existing two-story structure in the Single-Family Residential (R-1) Zoning District. The proposed renovation and addition will add a new accessory dwelling unit at a basement with a separate entry. The entry level and the second floor will remain as the primary unit.

The subject property is a downhill lot and is located at the terminus of the Springfield Drive. The area is zoned as R1 residential use with the lot size of approximately 15,423 sf. The neighborhood predominately consists of fully detached single-family residences.

The existing house is a two-story dwelling with attached two-car garage. It has typical spaces such as kitchen, living, and dining area. There is one bedroom with one full bathroom at ground floor. The second floor has four bedrooms and two common bathrooms. The total existing Floor-Area-Ratio (FAR) is approximately 3,856 sf. The proposed Floor-Area-Ratio (FAR) is approximately 5,232 sf which is less than the maximum Floor-Area-Ratio (FAR) of 5,449 sf.

Existing exterior materials and finishes include cement stucco, wood sidings, vinyl windows, brick chimney with wood fence. The existing hip roof consists of shingle roofing assembly.

Some of the existing interior walls will be eliminated to optimize the use of natural light. The existing exterior finishes/materials have aged to a point that it makes sense to be replaced. The replacement exterior material of the facades will integrate with more sustainable cladding materials (*Trespa Pura* - composite sidings). Such sidings are UV resistive and thermally stable. It also does not require any maintenance.

Regarding the landscaping, no existing tree will be removed. As part of the new City ordinance, existing impervious driveway will be replaced with pervious surface. The majority of the landscape species at the front will be replaced with drought-tolerant plants to minimize the use of water for irrigation.

The building massing at the front remains the same with no increase of height as perceived from Springfield Drive. Three new dormers are added to the front so that the long horizontal roof form could be broken up for visual interest. The proposed design does consider the least impact approach to the neighborhood. For instance, owner decided not to modify the existing roof form of existing garage. Addition is proposed in a way that there will not be direct new window facing bedroom windows at abutting neighbors.

Mr. Kevin Lu and his family has become the owner of the subject property since 2015. They would like to obtain approval from the City Millbrae so that his family will relocate from South San Francisco to this property. While they understand it's a lengthy process to obtain approval from Planning and Building Department, they would like to go through this process right away. Both his two sons are looking for to applying high schools in few years in San Mateo Union High School District soon.

Thank you for your time reviewing this application. We are confident that the proposed application will enhance the entire neighborhood with sensitive design approach. We look forward to hearing from you soon.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Wing Lee', written in a cursive style.

Wing Lee
Architect of Record

cc. Mr. Kevin Lu
Owner of property



City of Millbrae
PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Wing Lee (Architect), (owner/owner's agent), have met with the party listed below regarding a Residential Design Review Submittal (type of permit(s)) for addition and renovation of a single family dwelling (project description) at 93 Springfield Drive (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

4/20/2020

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, Kiet Chung and Anna Lam, own the property located at 906 Springfield Drive, Millbrae, CA. On 03/29/20, the above proposal was shown to me and I received a copy of the plans.

☐ I support the proposal as shown to me.

Signature

Date



☒ I oppose the proposal as shown to me

Signature

Date

Kiet Chung and Anna Lam

ckiet45@yahoo.com

650-922-7090

Name

Email

Contact Number

Comments (optional):

1) The building is too big. It will be caused the whole foundation and landslide problems.

2) Block any VIEWS will be UNACCEPTABLE, it will DEVALUE my property.

November 2017

TREE LIST

A EXISTING 20" PINE
B EXISTING 14" CEDAR
C EXISTING 8" & 12" CEDAR
D EXISTING 18" CEDAR
E EXISTING 14" CEDAR
F EXISTING 18" CYPRESS
G EXISTING 20" PINE
H EXISTING 8" OAK
I EXISTING 24" OAK
J EXISTING 18" PINE
K EXISTING 20" PINE
L EXISTING 10" PINE
M EXISTING 8" PINE
N EXISTING 8" OAK
O EXISTING 12" PINE
P EXISTING 16" CEDAR
Q EXISTING 22" PINE
R EXISTING 14" CEDAR
S EXISTING 20" PINE

This extension will obstruct the view from the decks from the floor level (at this) and from the master bedroom. This extension needs to reduce view change 3/29/20

EL CAPITAN DRIVE (50' WIDE)

KEY NOTES

- [1] EXISTING GAS METER TO REMAIN
- [2] EXISTING CURB CUT TO REMAIN
- [3] EXISTING BRICK BORDER / PLASTER TO BE REMOVED
- [4] EXISTING CONCRETE DRIVEWAY TO BE REPLACED WITH PERMEABLE SURFACE
- [5] EXISTING GATE / DOOR AND FRAME TO BE REMOVED
- [6] EXISTING WALL TO BE REMOVED
- [7] EXISTING STAIRCASE AND RAILING TO BE REMOVED
- [8] EXISTING FURNACE AND WATER HEATER TO BE REPLACED
- [9] EXISTING WATER AND POWER SUPPLY FOR WASHER AND DRYER TO BE CAPPED AND RELOCATED
- [10] EXISTING BATHROOM TO BE REMOVED AND RELOCATED
- [11] EXISTING WINDOW / SKYLIGHT TO BE REMOVED
- [12] EXISTING CLOSET TO BE REMOVED
- [13] EXISTING KITCHEN / CABINETS TO BE REMOVED AND RELOCATED
- [14] EXISTING WOOD FENCE TO BE REPLACED
- [15] EXISTING FIRE HYDRANT TO REMAIN
- [16] EXISTING STEPS / DECK TO BE REMOVED
- [17] EXISTING METAL ROOF AND SUPPORT TO BE REMOVED
- [18] EXISTING ROOF TO BE MODIFIED
- [19] EXISTING PREPARE TO BE DECOMMISSIONED BUT REMAIN
- [20] EXISTING GRADE TO BE MODIFIED
- [21] EXISTING WOOD POSTS TO BE REMOVED
- [22] EXISTING ADDRESS NUMBERS TO BE REPLACED, RELOCATED
- [23] EXISTING MAIL SLOT TO BE RELOCATED AND REPLACED
- [24] EXISTING DOWNSPOUT TO BE REPLACED
- [25] EXISTING STUCCO FINISH TO BE REMOVED
- [26] EXISTING TREE TO REMAIN, TYP.
- [27] EXISTING SHINGLE ROOF TO BE REPLACED
- [28] EXISTING METAL GUTTER TO BE REPLACED
- [29] EXISTING STUCCO TO BE REPLACED WITH SIDING
- [30] EXISTING BRICK WALL / PILASTER TO BE REMOVED
- [31] EXISTING WALL / COLUMN TO REMAIN
- [32] EXISTING WOOD DECORATIVE SHUTTERS TO BE REMOVED
- [33] EXISTING 2X ROOF RAFTERS TO REMAIN
- [34] EXISTING 2X TO BE STRENGTHENED WITH NEW INSULATION
- [35] EXISTING BRICK FINISH TO BE CLEANED AND RE-PAINTED
- [36] EXISTING VENTS FOR DRAINSPACE TO REMAIN
- [37] EXISTING LANDSCAPE TO BE REMOVED
- [38] EXISTING LANDSCAPE TO BE ENHANCED
- [39] 10-FT UTILITY SETBACK
- [40] 20-FT REAR SETBACK
- [41] PROPERTY LINE
- [42] EXISTING STUCCO FINISH TO BE RE-FINISHED
- [43] EXISTING SIDING TO BE REPLACED
- [44] EXISTING CONCRETE PATIO / PATH
- [45] EXISTING 6-FT WOOD FENCE WALL TO BE REMOVED
- [46] EXISTING WOOD WALL TO BE REPLACED
- [47] EXISTING DECK TO BE REMOVED
- [48] EXISTING PLANTER AREA
- [49] EXISTING CONCRETE WALL TO REMAIN
- [50] NEW ANODIZED ALUMINUM WINDOW AND DOOR
- [51] NEW WALL MOUNTED DOWNLIGHT
- [52] NEW ADDRESS NUMBER
- [53] GLAZING INSERT
- [54] NEW GARAGE DOOR
- [55] NEW WOOD DECK ON PT WOOD AND CONCRETE PIERS
- [56] NEW ROOF WITH INSULATION AND MATCHING ROOF SHINGLES
- [57] NEW 1-HOUR RATED RAFTERS
- [58] NEW 1-HOUR RATED WALL ASSEMBLY
- [59] NEW TEMPERED GLASS RAILING WITH STAINLESS FASTENERS
- [60] NEW WATER HEATER
- [61] NEW LOUVER FOR GARAGE (200 IN' NET AREA)
- [62] NEW FURNACE
- [63] NEW WALL BATT INSULATION, TYP.
- [64] NEW 20 MIN. DOOR WITH SELF CLOSER
- [65] NEW ENTRY DOOR, FINISH TO MATCH GARAGE DOOR
- [66] NEW COMPOSITE WOOD-LIKE SIDING
- [67] NEW 6-FT COMPOSITE WOOD-LIKE SIDING / FENCE
- [68] NEW PAINT FOR EXISTING FIREPLACE
- [69] NEW STAINLESS STEEL MAIL SLOT
- [70] NEW HOSE BIB
- [71] NEW PERMEABLE DRIVEWAY
- [72] NEW PULL-OUT FAUCET
- [73] NEW FLOOR DRAIN
- [74] NEW HARDWIRED SKYLIGHT WITH SHADES ABOVE WITH CURB
- [75] NEW 3-COAT, SMOOTH STUCCO FINISH
- [76] NEW CONCRETE WALKWAY
- [77] NEW METAL DOWNSPOUT, PAINTED
- [78] NEW STAINLESS STEEL ADDRESS
- [79] NEW WOOD-LIKE ENTRY DOOR
- [80] NEW ACCENT CERAMIC TILE
- [81] NEW ROOF WITH 1/2" PER 12" MIN. SLOPE
- [82] NEW CANOPY WITH CLAUDE WITH WOOD-LIKE SIDING
- [83] NEW 1-HOUR RATED ROOF ASSEMBLY
- [84] NEW SYNTHETIC GRASS
- [85] NEW DROUGHT TOLERANT SHRUBS AND GROUND COVER
- [86] NEW CEDAR SIDING PLANK TO BE STAINED
- [87] NEW PV PANEL
- [88] PROVIDE NEW WIFI AND CATS CABLE FOR ENTIRE HOUSE
- [89] DIGITAL DOORBELL TO BE CONNECTED TO SECURITY SYSTEM
- [90] NEW PERMEABLE CONCRETE
- [91] EXISTING BRICK WALL REMAINS
- [92] NEW 15-GALLON TREE 'ACACIA STENOPHYLLA'
- [93] NEW 6-FT CONCRETE RETAINING WALL
- [94] NEW CONCRETE REINFORCING WALL PER STRUCTURAL DRAWINGS

WING LEE ARCHITECTS
Wing Lee AIA, LEED AP BD+C
1433 Hudson Avenue
San Francisco CA 94124
T 415.297.6493
www.leeearchitect.com

903 SPRINGFIELD DR.

APN 021-461-120

ISSUE	RECORD	DATE
OWNER MEETING	APRIL 1, 2018	
OWNER MEETING	APRIL 23, 2018	
OWNER CONFIRM LAYOUT	JUNE 22, 2018	
PLANNING APPLICATION	DECEMBER 21, 2018	
NEIGHBOR MEETING #1	JANUARY 12, 2019	
PLANNING APPLICATION #2	APRIL 26, 2019	
PLANNING APPLICATION #3	JULY 26, 2019	
PLANNING APPLICATION #4	MARCH 19, 2020	
PLANNING APPLICATION #4.1	APRIL 22, 2020	

STAMP



DRAWING TITLE
SITE PLAN
PROPOSED

A2.1

1 PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



City of Millbrae

PROOF OF ADJACENT OWNER CONSULTATION

(Applicant to complete the following)

I, Wing Lee (Architect), (owner/owner's agent), have met with the party listed below regarding a Residential Design Review Submittal (type of permit(s)) for addition and renovation of a single-family dwelling (project description) at 903 Springfield Drive (project location). I have fully explained the proposal and answered all questions to the best of my ability. I have provided a copy of the current plans to the listed party.

Signature

4/20/2020

Date

THIS FORM IS TO BE RETURNED TO THE CITY OF MILLBRAE BY THE PROJECT APPLICANT

(Adjacent property owner to complete the following)

I, JEANETTE RUDDEN, own the property located at 911 SPRINGFIELD DR. On 4/28/20, the above proposal was shown to me and I received a copy of the plans.

☐ I support the proposal as shown to me.

Signature

Date

☒ I oppose the proposal as shown to me

Signature

Date

Jeanette L. Rudden

4/28/20

JEANETTE RUDDEN

ITALIAN49@GMAIL.COM

650 697-2200

Name

Email

Contact Number

Comments (optional):

THIS IS A RESIDENTIAL NEIGHBORHOOD, NOT AN APARTMENT FILLED STREET! THIS PROPOSAL IS FOR A RENTAL PROPERTY, NOT A SINGLE FAMILY DWELLING. IF THE OWNER WANTS A RENTAL, GO BUY AN APARTMENT BUILDING. THERE IS NO ROOM

November 2017

From: [Planning Commission Meetings](#)
To: [Jeanette Rudden](#)
Cc: [Sam Fielding](#); [Roscoe Mata](#)
Subject: RE: 903 Springfield Dr
Date: Tuesday, July 14, 2020 10:48:41 AM

Your comments have been received and forwarded to the Planner, they will be read at the Planning commission Meeting on Monday, July 20, 2020 which you can view at MCTV.com

Thank you and Regards,

Bernadette Kunz
Administrative Assistant
Community Development Depart.
City of Millbrae
621 Magnolia Ave, Millbrae, CA 94030
650-259-2342
Email: bkunz@ci.millbrae.ca.us

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-----Original Message-----

From: Jeanette Rudden [<mailto:italian49@gmail.com>]
Sent: Monday, July 13, 2020 3:14 PM
To: Planning Commission Meetings <P@ci.millbrae.ca.us>
Subject: 903 Springfield Dr

To whom it may concern

This plan to build onto an existing house is absurd.

This is a single residence dwelling that is being turned into an apartment complex. If they wanted to own an apartment complex they should have shopped elsewhere.

Parking is limited as is and is unfair to the residents of this neighborhood. I really can't believe the planning commission is even considering this project. We at 911 Springfield Dr and 919 Springfield Dr are totally AGAINST this addition, as it will cheapen our neighborhood. The owners of 903 Springfield Dr are leading all parties involved that they are moving "their" family in. This is not the scenario, as they will be renting out rooms to a number of people as they previously did before. There were at least 6 to 7 vehicles parked in the driveway and street at any given time.

Thank you

Jeanette Rudden (919 Springfield Dr)
Robert Rudden (911 Springfield Dr.)

Sent from my iPhone

From: [Planning Commission Meetings](#)
To: [Kiet Chung](#); [Planning Commission Meetings](#)
Cc: [Sam Fielding](#); [Roscoe Mata](#)
Subject: RE: 903 Springfield Residential Design Review
Date: Tuesday, July 14, 2020 10:50:56 AM

Note that I've received this email comment 2x, but will be read 1x (one time).

Your comments have been received and forwarded to the Planner, they will be read at the Planning commission Meeting on Monday, July 20, 2020 which you can view on MCTV.com or Millbrae community Channel 27

Thank you and Regards,

Bernadette Kunz
Administrative Assistant
Community Development Depart.
City of Millbrae
621 Magnolia Ave, Millbrae, CA 94030
650-259-2342
Email: bkunz@ci.millbrae.ca.us

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-----Original Message-----

From: Kiet Chung [<mailto:ckiet45@yahoo.com>]
Sent: Monday, July 13, 2020 7:13 PM
To: Planning Commission Meetings <P@ci.millbrae.ca.us>
Subject: 903 Springfield Residential Design Review

I am forwarding a message for Bob Sand of 922 Springfield drive regarding the 903 Springfield project.

My wife and I are 100 percent against this development Let's be realistic.... it is NOT going to be a single family home It currently has 5 bedrooms, one kitchen and one entrance How many bedrooms does one need AND a second entrance far from the existing one and additional kitchen We are totally against this plan Additionally there is no parking now does anyone in the city care about the consequences of such a plan or are they merely thinking of increased revenue?

Would u be in favor if this in your neighborhood?

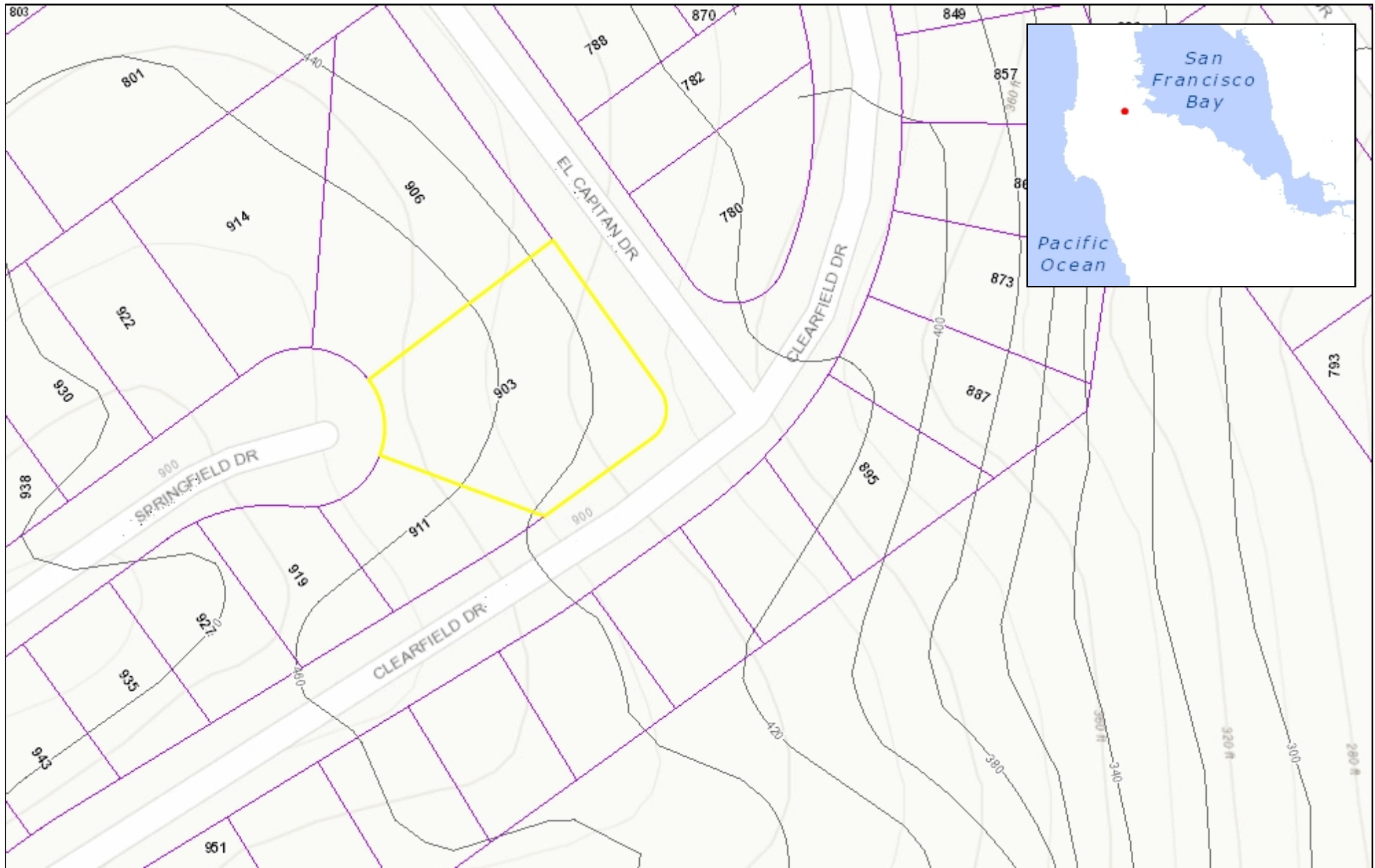
Think about it!

Why didn't the city have a neighborhood meeting to allow us to question the city?

I offered our home but received no reply.

Robert Sand
922 Springfield dr
Millbrae ca

Sent from my iPhone



0.04 0 0.02 0.04 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:1,128



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

KEY MAP



903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

VIEW - 1



VIEW FROM CLEARFIELD DRIVE TO SUBJECT PROPERTY



VIEW - 2

VIEW TO NORTH FACADE OF SUBJECT PROPERTY

VIEW - 3



VIEW FROM EL CAPITAN DRIVE TO SUBJECT PROPERTY

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

VIEW - 4



VIEW OF SUBJECT PROPERTY FRONT FACADE

VIEW - 6



VIEW OF NEIGHBOR HOUSE AT 914 SPRINGFIELD DRIVE

VIEW - 5



VIEW OF IMMEDIATE NEIGHBOR NORTH OF SUBJECT PROPERTY

VIEW - 7



VIEW OF SOUTH FACADE OF SUBJECT PROPERTY

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

VIEW - 8



VIEW OF IMMEDIATE NEIGHBOR HOUSE AT 911 SPRINGFIELD

VIEW - 9



VIEW OF NEIGHBOR HOUSE AT 919 SPRINGFIELD

VIEW - 10



VIEW OF NEIGHBOR HOUSE AT 922 SPRINGFIELD

VIEW - 11



VIEW OF NORTHEAST CORNER OF THE SUBJECT PROPERTY

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS

VIEW - 12



VIEW OF NEIGHBOR HOUSE AT 895 CLEARFIELD DRIVE

VIEW - 14



VIEW OF NEIGHBOR HOUSE AT 780 EL CAPITAN DRIVE

VIEW - 13



VIEW OF NEIGHBOR HOUSE AT 903 CLEARFIELD

VIEW - 14

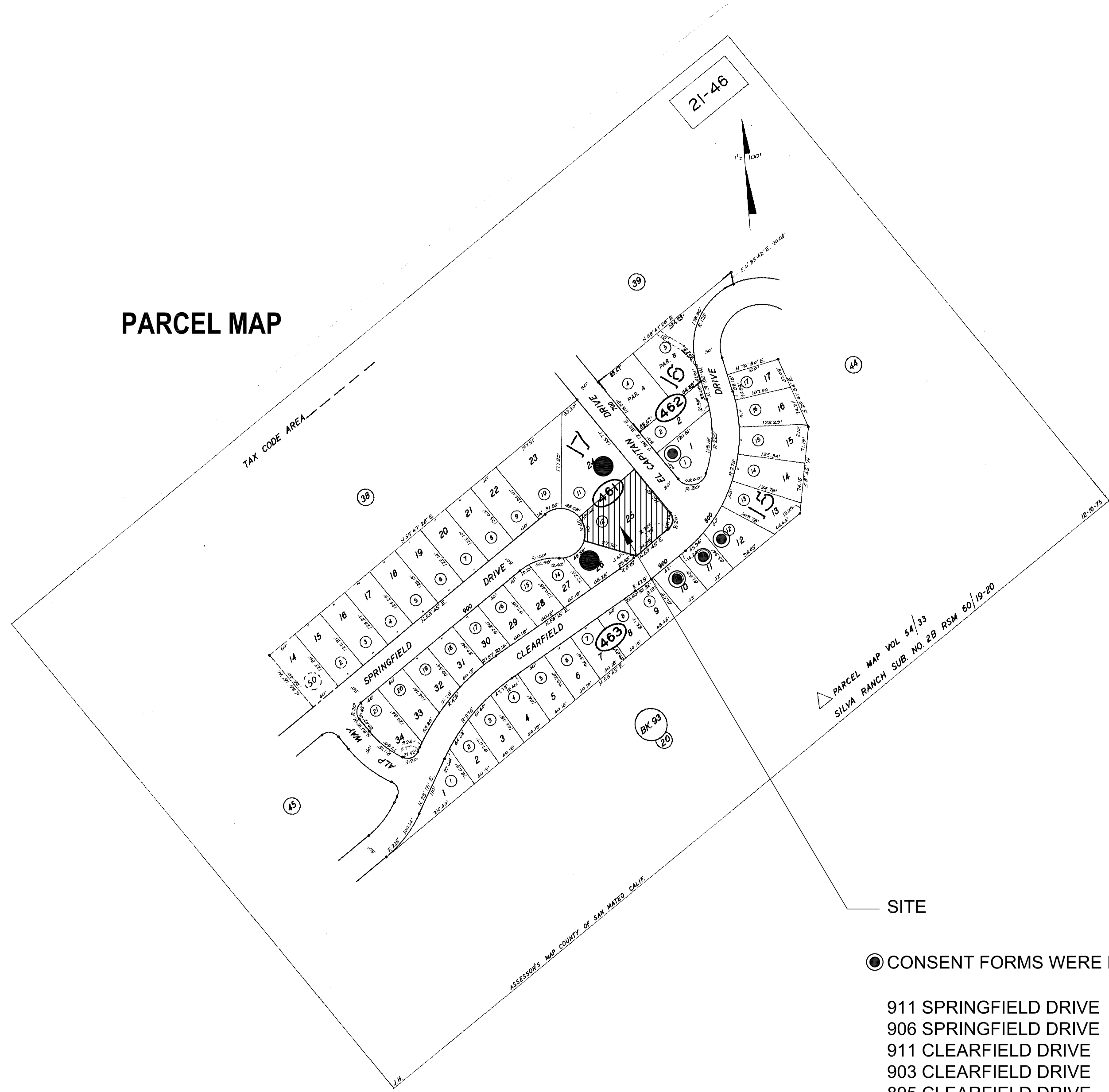


VIEW OF NEIGHBOR HOUSE AT 911 CLEARFIELD

903 SPRINGFIELD DRIVE - CONTEXT PHOTOS

December 21, 2018

WING LEE ARCHITECTS



PARCEL MAP

SITE

● CONSENT FORMS WERE MAILED IN JANUARY 2019

911 SPRINGFIELD DRIVE
906 SPRINGFIELD DRIVE
911 CLEARFIELD DRIVE
903 CLEARFIELD DRIVE
895 CLEARFIELD DRIVE
780 EL CAPITAN DRIVE

● CONSENT FORMS WERE MAILED IN APRIL 2020

911 SPRINGFIELD DRIVE
906 SPRINGFIELD DRIVE

LOCATION MAP - 1,000 FT RADIUS



SITE



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ADDITIONAL DOCUMENTS SUBMITTED

RESIDENTIAL DESIGN REVIEW WORKSHEET
COLOR AND MATERIAL SAMPLES
COLOR PHOTOGRAPHS
KEY MAP SHOWING PHOTOS
STORMWATER CHECKLIST

PROJECT DESCRIPTION

MAJOR RENOVATION AND ADDITION OF 1,376 SF TO AN EXISTING TWO-STORY SINGLE-FAMILY DWELLING. THE ADDITION WILL HAVE A NEW ACCESSORY DWELLING UNIT (ADU) AT THE BASEMENT WITH SEPARATE ENTRY. AREA OF THE ADU IS 1,008 SF.

PROPOSED DWELLING WILL REQUEST FOR FRONT AND SIDE SETBACK EXCEPTION.

INTERIOR RENOVATION TO ENTIRE DWELLING.

NEW EXTERIOR FINISHES / MATERIALS TO EXISTING AND PROPOSED FACADES.

TWO NEW TREES AT FRONT SETBACK AREA

PLANNING DATA

ZONING:	R1 SINGLE FAMILY RESIDENTIAL
LOT SIZE:	15,432 SF
DEVELOPABLE SITE:	9,908 (AREA LESS THAN 30% SLOPE)
REQUIRED LOT COVERAGE	50% (7,712 SF)
REQUIRED FAR	55% (5,449 SF)
EXSITING LOT COVERAGE	23% (3,486 SF)
EXISTING FAR	39% (3,856 SF)
PROPOSED LOT COVERAGE	20% (3,062 SF)
PROPOSED FAR	53% (5,232 SF)

OPEN SPACE AREA LOCATED IN THE REAR 1/2 OF THE LOT = 5,058 SF

APPLICABLE CODES

ALL CONSTRUCTION SHALL CONFORM:
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 MILLBRAE RESIDENTIAL DESIGN GUIDELINES

PROJECT DIRECTORY

OWNER	ARCHITECT/INTERIOR DESIGNER	CIVIL ENGINEER	STRUCTURAL ENGINEER
Mr. Kevin Lu 903 Springfield Drive Millbrae, CA 94030 T 415.816.1833	Wing Lee AIA, LEED AP Wing Lee Architects 1403 Hudson Avenue San Francisco, CA 94124 T 415.297.6493	Jack Wang Core Civil Engineering, Inc. 23172 Plaza Pointe Dr., Suite 145 Laguna Hills, CA 92653 T 949.954.7244	
SURVEYOR	GEOTECHNICAL ENGINEER		
Mr. Jozef Elemen 1738 Union Street Suite 106 San Francisco, CA 94123 T 415.999.9434	Mr. Igor Gary Kleyner Modern Technology Resources, Inc. 1485 Bayshore Boulevard Suite 133 San Francisco, CA 94124 T 415.602.2290		

WING LEE ARCHITECTS

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903 SPRINGFIELD DR.

APN 021-461-120

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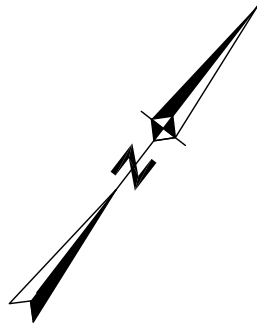
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COVER SHEET

A1.0



- LEGEND**
- SUBJECT PROPERTY LINE
 - ADJOINER PROPERTY LINE
 - CENTERLINE
 - WOOD FENCE
 - BUILDING LINE
 - ⊙ FOUND MONUMENT PER R1
 - BC BUILDING CORNER
 - CONC CONCRETE
 - BSW BACK OF SIDEWALK
 - DI DRAIN INLET
 - DW DRIVEWAY
 - EC EDGE OF CONCRETE
 - EL ELEVATION
 - EM ELECTRIC METER
 - FL FLOW LINE
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - GM GAS METER
 - SC SEWER CLEANOUT
 - TBC TOP BACK CURB
 - TBW TOP BACK WALL
 - TEB TOE OF BANK
 - TEW TOE OF WALL
 - TPB TOP OF BANK
 - TEL TELEPHONE/CABLE
 - WDF WOOD FENCE
 - WM WATER METER
 - + 9.16 ELEVATION
 - + EC DESCRIPTION

BASIS OF BEARINGS:
THE BASIS OF BEARINGS FOR THIS SURVEY IS N53°45'00"E BETWEEN FOUND STANDARD WELL MONUMENTS PER R1, FILED IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.

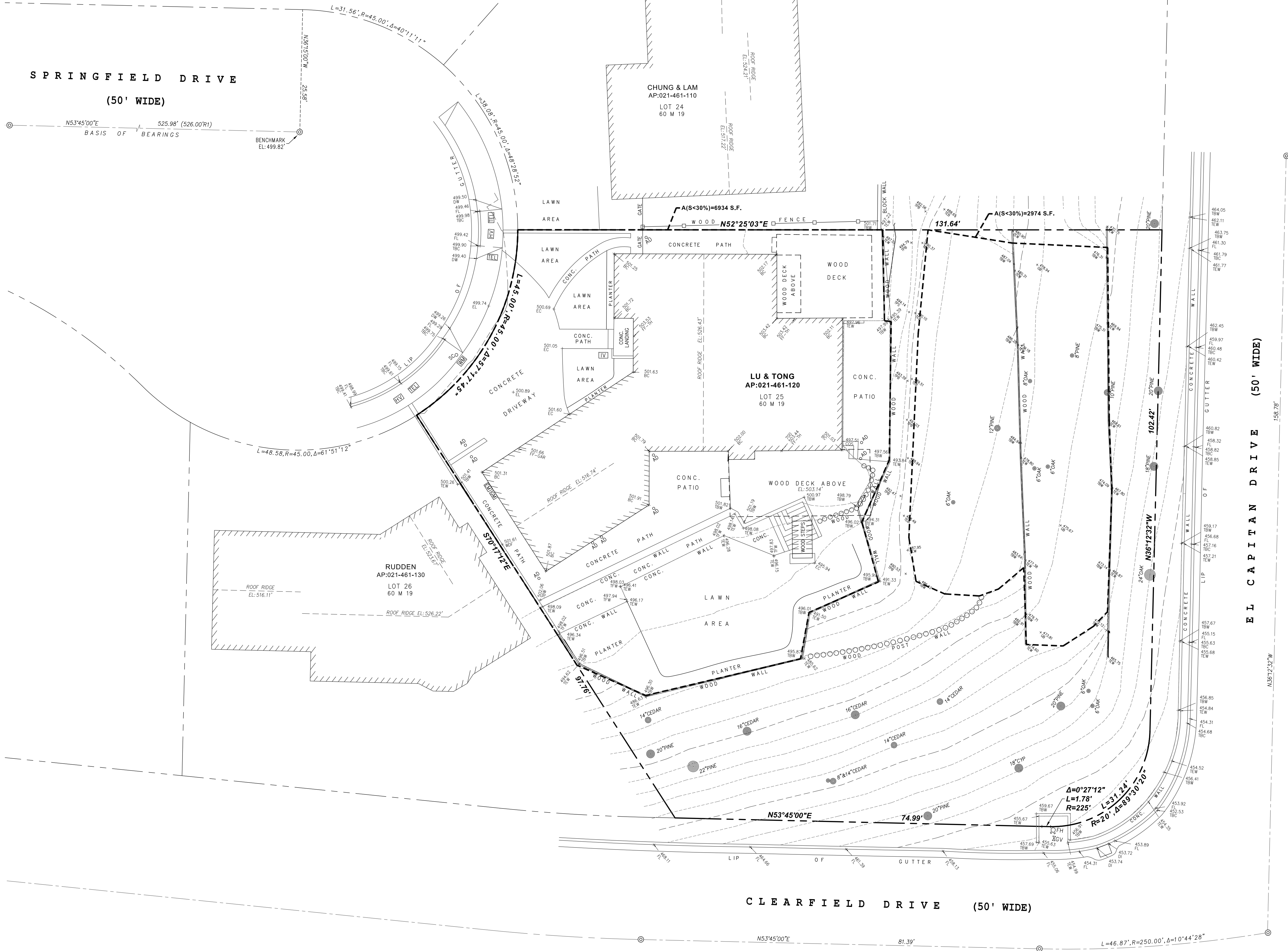
- GENERAL NOTES:**
- 1) REFERENCED MAPS PER SAN MATEO COUNTY RECORDER.
 - 2) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
 - 3) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

REFERENCES
R1. "SILVA RANCH, SUBDIVISION NO. 2B" FILED 5/22/1964, IN BOOK 60, MAPS PAGES 19-20. (60 M 19)

UTILITY NOTE:
UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. THUS, ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AN CAPACITY OF SAID UTILITIES.

AREAS:
TOTAL LOT AREA: 15,423 SQ. FT.
AREA LESS THAN 30% SLOPE: 9908 SQ. FT.

NOTE:
THIS PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PROPERTY OWNER(S) SHOWN HEREON. USE OR RELIANCE OF THIS PLAT BY ANY PARTY OTHER THAN THE OWNER(S) OR OWNERS' AGENT IS FORBIDDEN WITHOUT WRITTEN PERMISSION FROM AMERICAN LAND SURVEYING, INC.





903 SPRINGFIELD DR.

APN 021-461-120

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	PLANNING APPLICATION #4. APRIL 22, 2020

STAMP



DRAWING TITLE
SITE PLAN
EXISTING

A2.0

OWNER MEETING APRIL 1, 2018
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KEY NOTES

- [1] EXISTING GAS METER TO REMAIN
- [2] EXISTING CURB CUT TO REMAIN
- [3] EXISTING BRICK BORDER / PILASTER TO BE REMOVED
- [4] EXISTING CONCRETE DRIVEWAY TO BE REPLACED WITH PERMEABLE SURFACE
- [5] EXISTING GATE / DOOR AND FRAME TO BE REMOVED
- [6] EXISTING WALL TO BE REMOVED
- [7] EXISTING STAIRCASE AND RAILING TO BE REMOVED
- [8] EXISTING FURNACE AND WATER HEATER TO BE REPLACED
- [9] EXISTING WATER AND POWER SUPPLY FOR WASHER AND DRYER TO BE CAPPED AND RELOCATED
- [10] EXISTING BATHROOM TO BE REMOVED AND RELOCATED
- [11] EXISTING WINDOW / SKYLIGHT TO BE REMOVED
- [12] EXISTING CLOSET TO BE REMOVED
- [13] EXISTING KITCHEN / CABINERY TO BE REMOVED AND RELOCATED
- [14] EXISTING WOOD FENCE TO BE REPLACED
- [15] EXISTING FIRE HYDRANT TO REMAIN
- [16] EXISTING STEPS / DECK TO BE REMOVED
- [17] EXISTING METAL ROOF AND SUPPORT TO BE REMOVED
- [18] EXISTING ROOF TO BE MODIFIED
- [19] EXISTING FIREPLACE TO BE DECOMMISSIONED BUT REMAIN
- [20] EXISTING GRADE TO BE MODIFIED
- [21] EXISTING WOOD POSTS TO BE REMOVED
- [22] EXISTING ADDRESS NUMBERS TO BE REPLACED, RELOCATED
- [23] EXISTING MAIL SLOT TO BE RELOCATED AND REPLACED
- [24] EXISTING DOWNSPOUT TO BE REPLACED
- [25] EXISTING STUCCO FINISH TO BE REPLACED
- [26] EXISTING FREE TO REMAIN, TYP.
- [27] EXISTING SHINGLE ROOF TO BE REPLACED
- [28] EXISTING METAL GUTTER TO BE REPLACED
- [29] EXISTING STUCCO TO BE REPLACED WITH SIDING
- [30] EXISTING BRICK WALL / PILASTER TO BE REMOVED
- [31] EXISTING WALL / COLUMN TO REMAIN
- [32] EXISTING WOOD DECORATIVE SHUTTERS TO BE REMOVED
- [33] EXISTING 2X ROOF RAFTERS TO REMAIN
- [34] EXISTING 2X TO BE STRENGTHENED WITH NEW INSULATION
- [35] EXISTING BRICK FINISH TO BE CLEANED AND RE-PAINTED
- [36] EXISTING VENTS FOR CRAWLSPACE TO REMAIN
- [37] EXISTING LANDSCAPE TO BE REMOVED
- [38] EXISTING LANDSCAPE TO BE ENHANCED
- [39] 10-FT UTILITY SETBACK
- [40] 20-FT REAR SETBACK
- [41] PROPERTY LINE
- [42] EXISTING STUCCO FINISH TO BE RE-FINISHED
- [43] EXISTING SIDING TO BE REPLACED
- [44] EXISTING CONCRETE PATIO / PATH
- [45] EXISTING 6-FT WOOD FENCE WALL TO BE REMOVED
- [46] EXISTING WOOD WALL TO BE REPLACED
- [47] EXISTING DECK TO BE REMOVED
- [48] EXISTING PLANTER AREA
- [49] EXISTING CONCRETE WALL TO REMAIN

- [50] NEW ANODIZED ALUMINUM WINDOW AND DOOR
- [51] NEW WALL MOUNTED DOWNLIGHT
- [52] NEW ADDRESS NUMBER
- [53] GLAZING INSERT
- [54] NEW GARAGE DOOR
- [55] NEW WOOD DECK ON PT WOOD AND CONCRETE PIERS.
- [56] NEW ROOF WITH INSULATION AND MATCHING ROOF SHINGLES
- [57] NEW 1-HOUR RATED RAFTERS
- [58] NEW 1-HOUR RATED WALL ASSEMBLY
- [59] NEW TEMPERED GLASS RAILING WITH STAINLESS FASTENERS
- [60] NEW WATER HEATER
- [61] NEW LOUVER FOR GARAGE (200 IN' NET AREA)
- [62] NEW FURNACE
- [63] NEW WALL BATT INSULATION, TYP.
- [64] NEW 20 MIN. DOOR WITH SELF CLOSER
- [65] NEW ENTRY DOOR FINISH TO MATCH GARAGE DOOR
- [66] NEW COMPOSITE WOOD-LIKE SIDING
- [67] NEW 6-FT COMPOSITE WOOD-LIKE SIDING / FENCE
- [68] NEW PAINT FOR EXISTING FIREPLACE
- [69] NEW STAINLESS STEEL MAIL SLOT
- [70] NEW HOSE BIB
- [71] NEW PERMEABLE DRIVEWAY
- [72] NEW PULL-OUT FAUCET
- [73] NEW FLOOR DRAIN
- [74] NEW HARDWIRED SKYLIGHT WITH SHADES ABOVE WITH CURB
- [75] NEW 3-COAT, SMOOTH STUCCO FINISH
- [76] NEW CONCRETE WALKWAY
- [77] NEW METAL DOWNSPOUT, PAINTED
- [78] NEW STAINLESS STEEL ADDRESS
- [79] NEW WOOD-LIKE ENTRY DOOR
- [80] NEW ACCENT CERAMIC TILE
- [81] NEW ROOF WITH 1/2" PER 12' MIN. SLOPE
- [82] NEW CANOPY WITH CLADDE WITH WOOD-LIKE SIDING
- [83] NEW 1-HOUR RATED ROOF ASSEMBLY
- [84] NEW SYNTHETIC GRASS
- [85] NEW DROUGHT TOLERANT SHRUBS AND GROUND COVER
- [86] NEW CEDAR SIDING PLANK TO BE STAINED
- [87] NEW PV PANEL
- [88] PROVIDE NEW WIFI AND CAT6 CABLE FOR ENTIRE HOUSE
- [89] DIGITAL DOORBELL TO BE CONNECTED TO SECURITY SYSTEM
- [90] NEW PERMEABLE CONCRETE
- [91] EXISTING BRICK WALL REMAINS
- [92] NEW 15-GALLON TREE "ACACIA STENOPHYLLA"
- [93] NEW 6-FT CONCRETE RETAINING WALL
- [94] NEW CONCRETE RETAINING WALL PER STRUCTURAL DRAWINGS

TREE LIST

- | | |
|---|-------------------------|
| A | EXISTING 20" PINE |
| B | EXISTING 14" CEDAR |
| C | EXISTING 8" & 12" CEDAR |
| D | EXISTING 16" CEDAR |
| E | EXISTING 14" CEDAR |
| F | EXISTING 18" CYPRESS |
| G | EXISTING 20" PINE |
| H | EXISTING 8" OAK |
| I | EXISTING 24" OAK |
| J | EXISTING 18" PINE |
| K | EXISTING 20" PINE |
| L | EXISTING 10" PINE |
| M | EXISTING 8" PINE |
| N | EXISTING 8" OAK |
| O | EXISTING 12" PINE |
| P | EXISTING 16" CEDAR |
| Q | EXISTING 22" PINE |
| R | EXISTING 14" CEDAR |
| S | EXISTING 20" PINE |

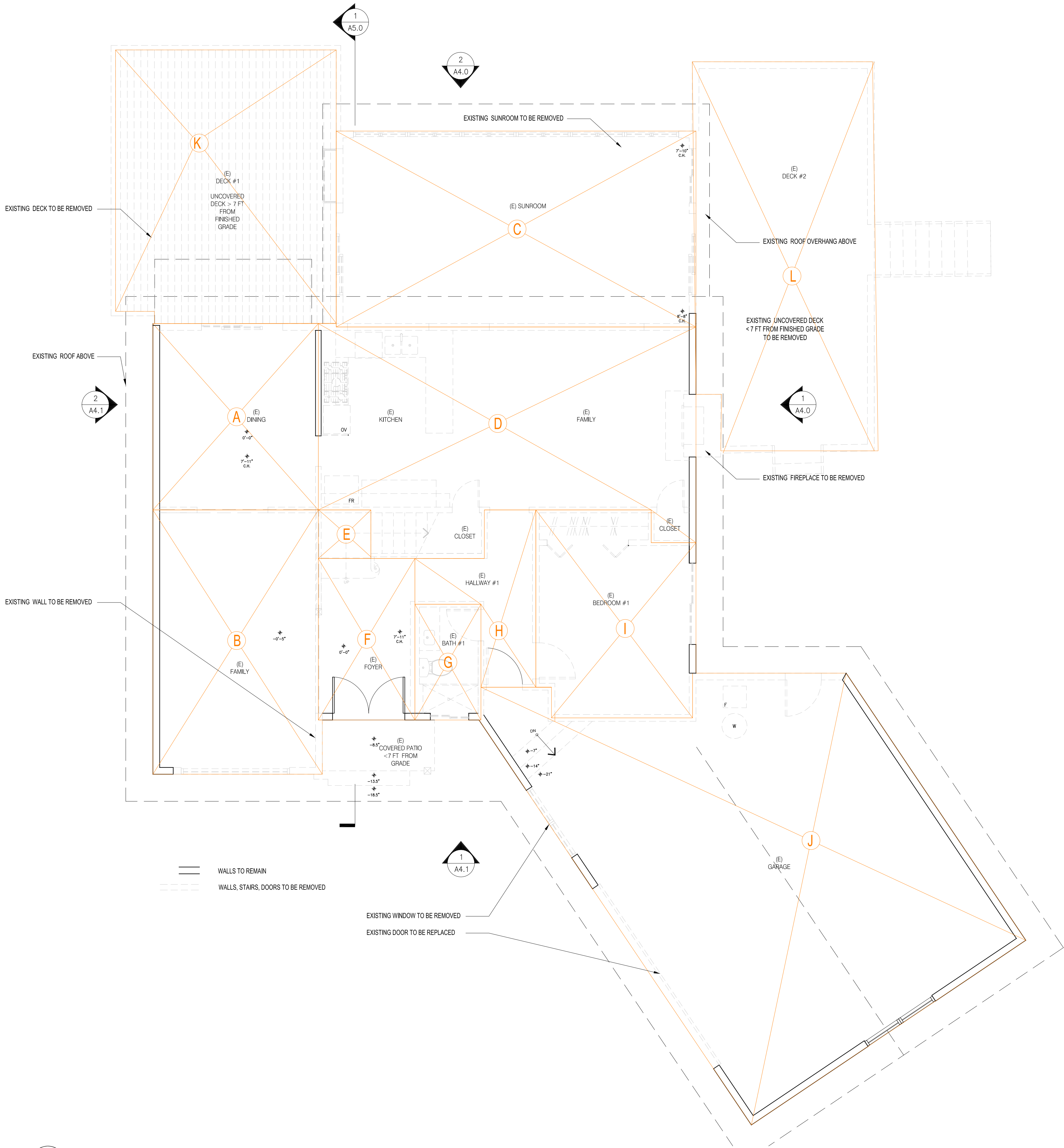
EL CAPITAN DRIVE (50' WIDE)

CLEARFIELD DRIVE

ADDITION

1 PROPOSED SITE PLAN

SCALE: 3/32" = 1'-0"

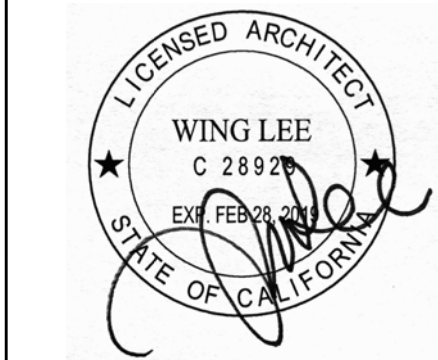


1 EXISTING / DEMO GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

A	DINING	168
B	FAMILY	239
C	SUNROOM	384
D	KITCHEN/FAMILY	415
E	STAIRWAY LANDING	28
F	FOYER	85
G	BATH #1	42
H	HALLWAY #1	69
I	BEDROOM #1	170
J	GARAGE	736
K	DECK #1 (> 7' FROM GRADE)	326
L	DECK #2 (< 7' FROM GRADE)	0
TOTAL GROUND FLOOR		2662

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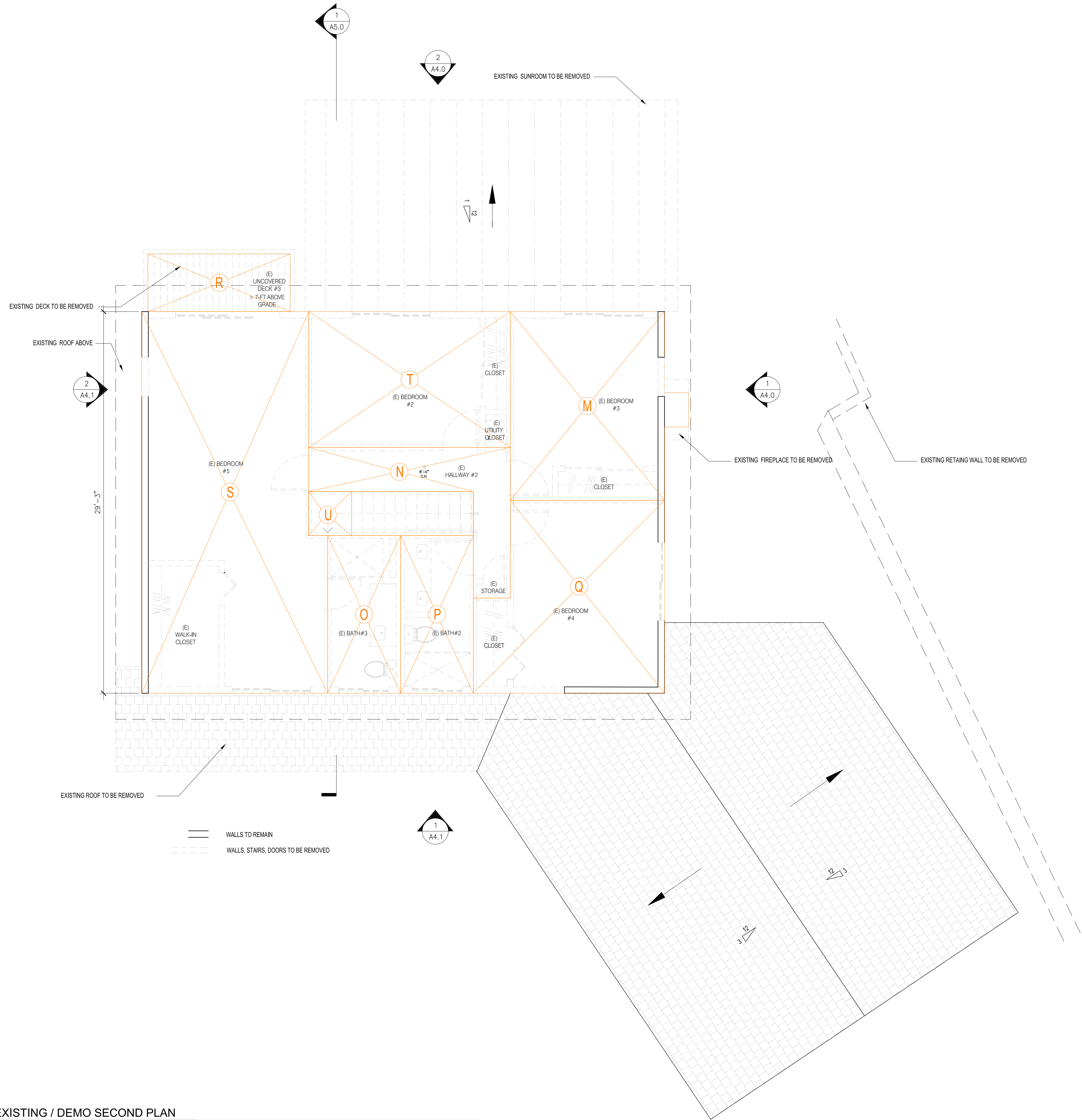
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PLANS

EXISTING / DEMO
GROUND FLOOR



M	BEDROOM #3	176
N	HALLWAY #2	75
O	BATH #3	67.5
P	BATH #2	67.5
Q	BEDROOM #4	196
R	DECK #3 (> 7' FROM GRADE)	48
S	BEDROOM #5	392
T	BEDROOM #2	161
U	STAIRWAY LANDING	11
TOTAL SECOND FLOOR		1194

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LICENSED ARCHITECT

WING LEE

C 28922

EX FEB 28 2021

STATE OF CALIFORNIA

DRAWING TITLE

PLANS

EXISTING / DEMO
SECOND FLOOR

A3.02

1

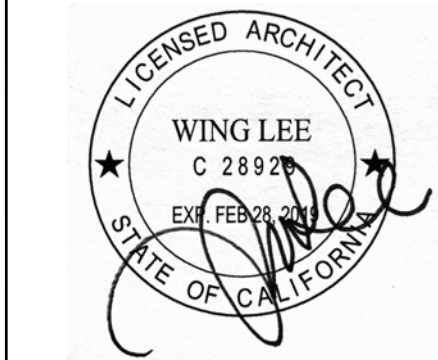


A	LIVING	140
B	BEDROOM #6	143
C	BEDROOM #5	296
D	KITCHEN	155
E	LAUNDRY	9
F	HALLWAY #1, STORAGE	56
G	DINING	140
I	DECK #4 (< 7' FROM GRADE)	0
J	DECK #5 (< 7' FROM GRADE)	0
BB	BATH #7	69
TOTAL BASEMENT (ADU)		1008

1 PROPOSED BASEMENT
SCALE: 1/4" = 1'-0"

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DRAWING TITLE
PLANS
PROPOSED BASEMENT



K	TV/ENTERTAINMENT	184
L	FAMILY/DINING	367
M	KITCHEN	288
N	STAIR LANDING	50
O	BATH #2	55
P	DEN/GUEST ROOM	138
Q	HALLWAY #2	103
R	FOYER	156
S	HALLWAY #3	138
T	BEDROOM #1	223
U	POWDER ROOM #1	29
FF	COVERED DECK #1 >7' FROM GRADE	123
GG	DECK #2 <7' FROM GRADE	0
V	GARAGE	757
TOTAL GROUND FLOOR		2611

1 PROPOSED GROUND FLOOR
SCALE: 1/4" = 1'-0"

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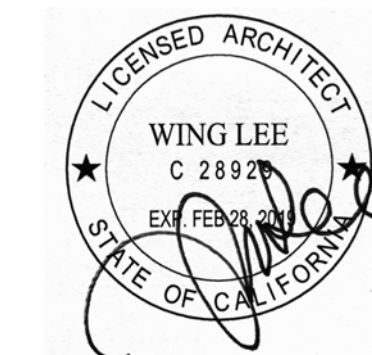
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DRAWING TITLE
PLANS
PROPOSED GROUND FLOOR

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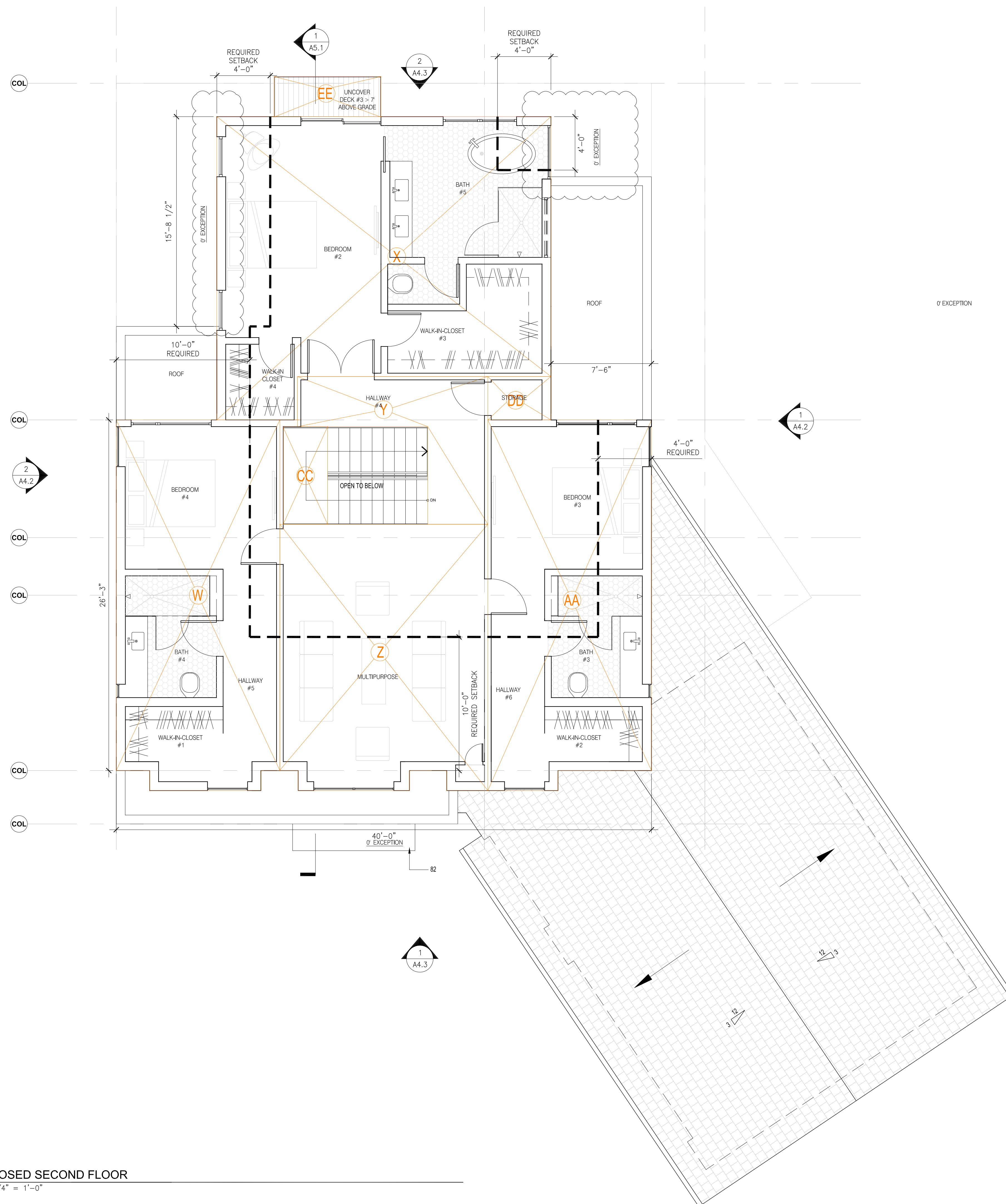
STAMP



DRAWING TITLE

PLANS
PROPOSED SECOND FLOOR

A3.3



1 PROPOSED SECOND FLOOR
SCALE: 1/4" = 1'-0"

SCALE: $1/4" = 1'-0"$

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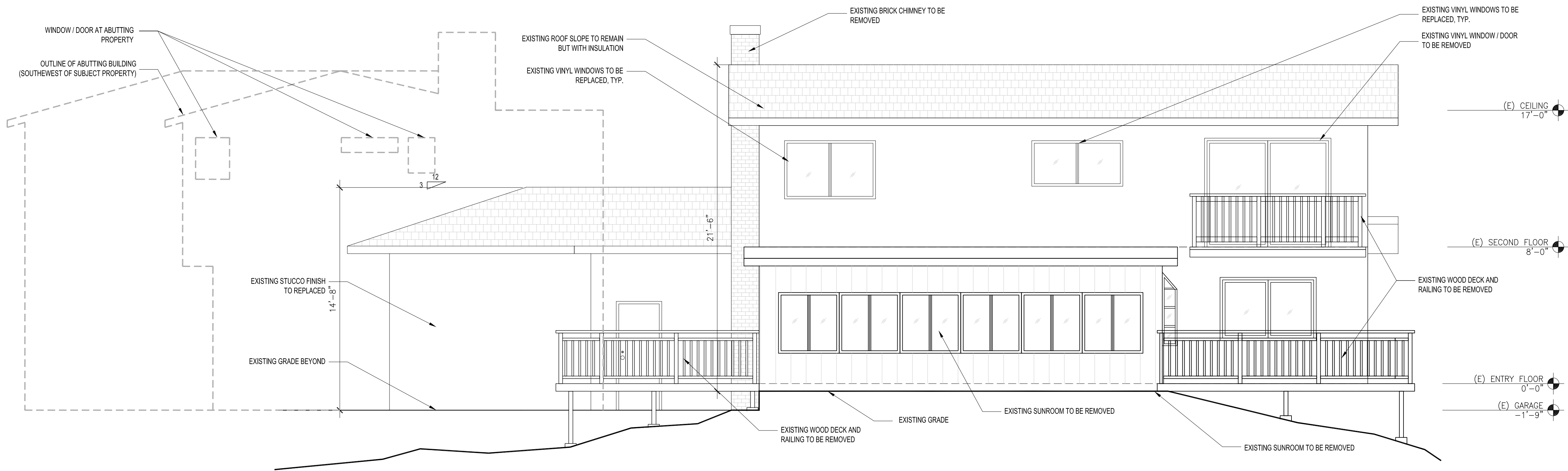


DRAWING TITLE

ELEVATIONS

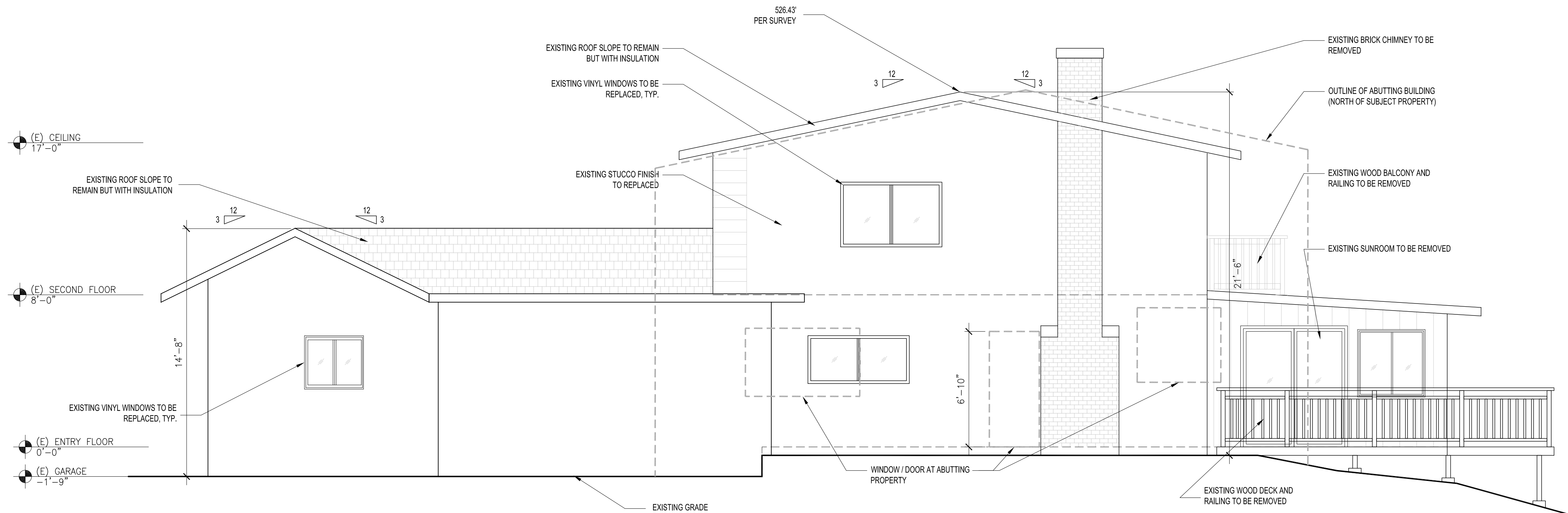
EXISTING / DEMO

A4.0



2 EXISTING / DEMO EAST ELEVATION

SCALE: $1/4" = 1'-0"$



1 EXISTING / DEMO SOUTH ELEVATION

SCALE: $1/4" = 1'-0"$

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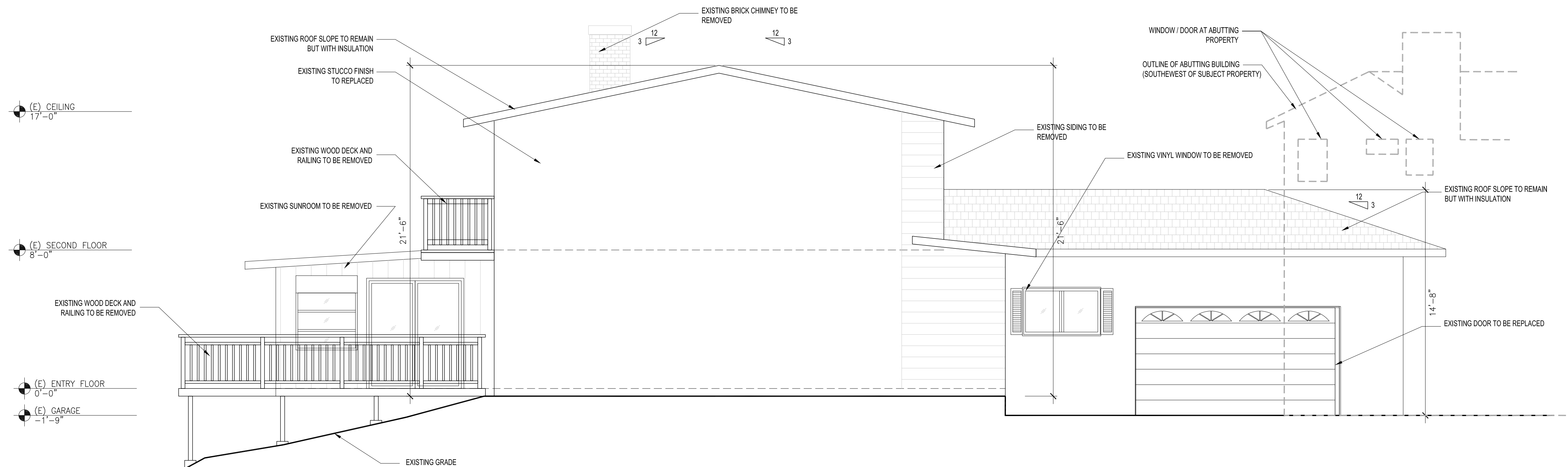


DRAWING TITLE

ELEVATIONS

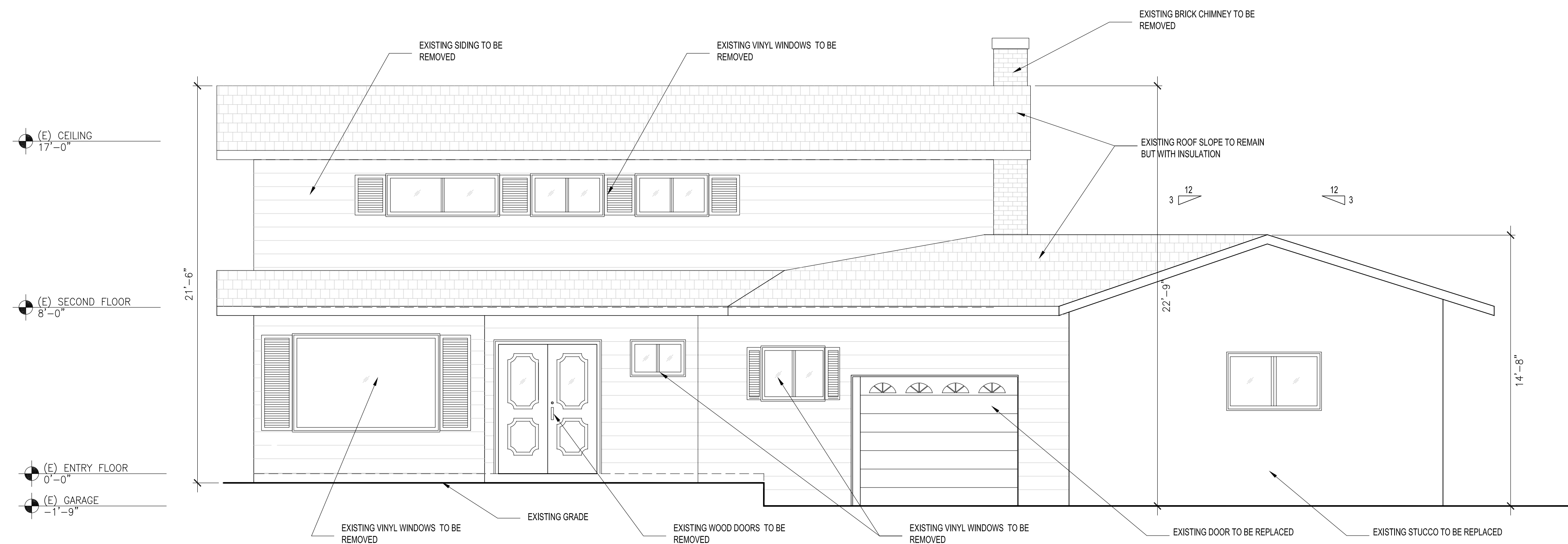
EXISTING / DEMO

A4.1



2 EXISTING / DEMO NORTH ELEVATION

SCALE: 1/4" = 1'-0"



1 EXISTING / DEMO WEST ELEVATION

SCALE: 1/4" = 1'-0"

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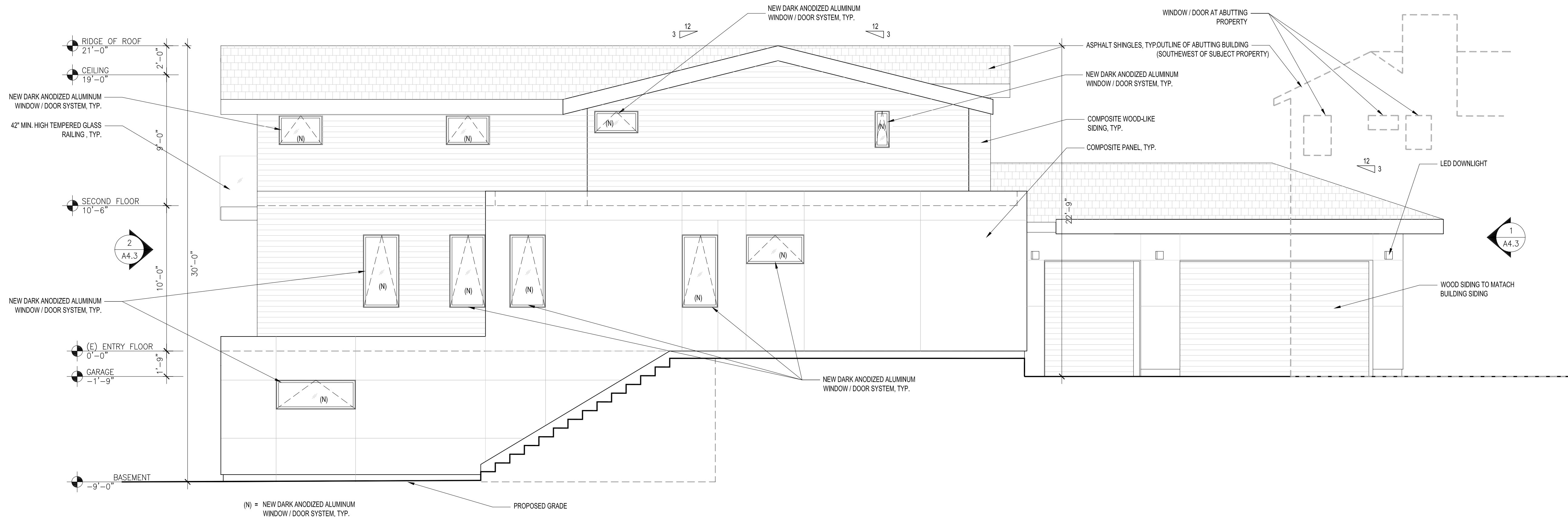
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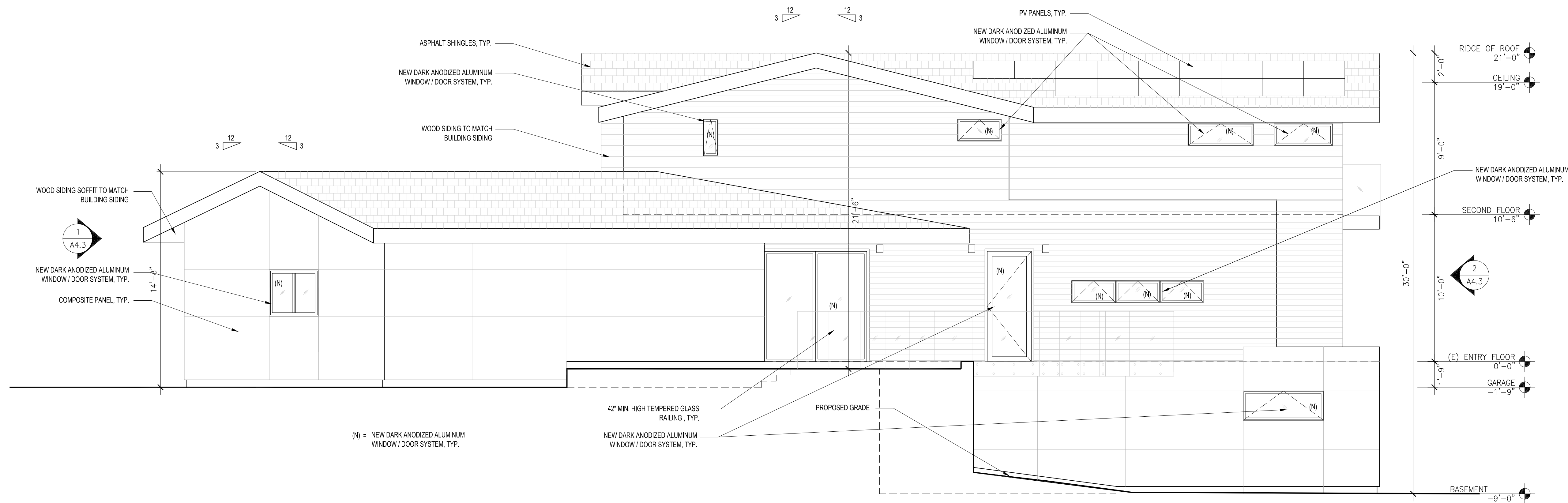
ELEVATIONS

PROPOSED



2 PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

903 SPRINGFIELD DR.

APN 021-461-120

ISSUE RECORD/DATE

OWNER MEETING APRIL 1, 2018
OWNER MEETING APRIL 23, 2018
OWNER CONFIRM LAYOUT JUNE 22, 2018
PLANNING APPLICATION DECEMBER 21, 2018
NEIGHBOR MEETING #1 JANUARY 12, 2019
PLANNING APPLICATION #2 APRIL 26, 2019
PLANNING APPLICATION #3 JULY 26, 2019
PLANNING APPLICATION #4 MARCH 19, 2020
PLANNING APPLICATION #4.1 APRIL 22, 2020

STAMP

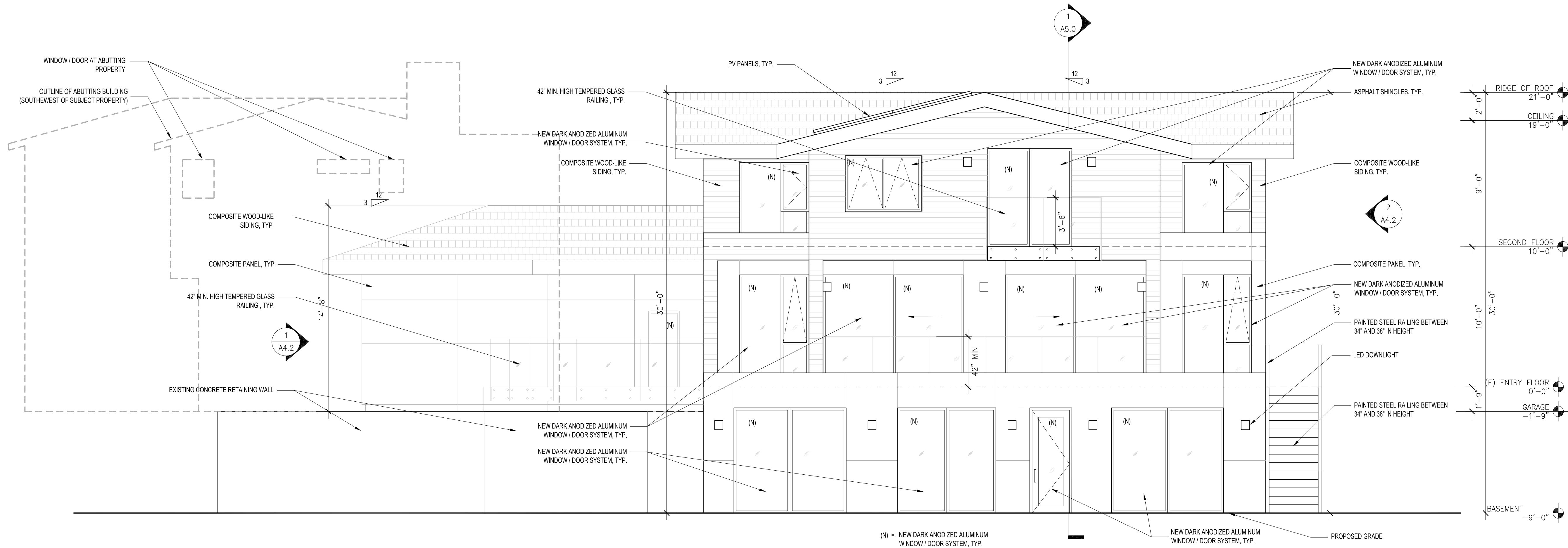


DRAWING TITLE

ELEVATIONS

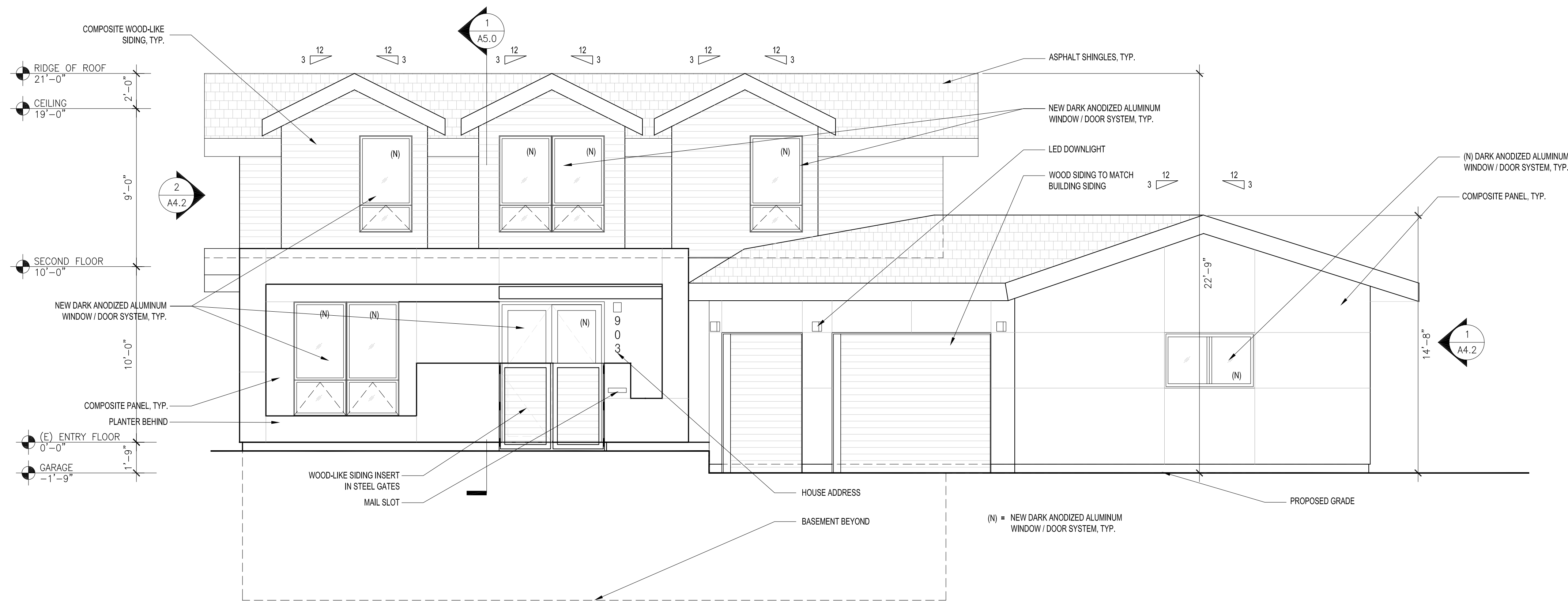
PROPOSED

A4.3



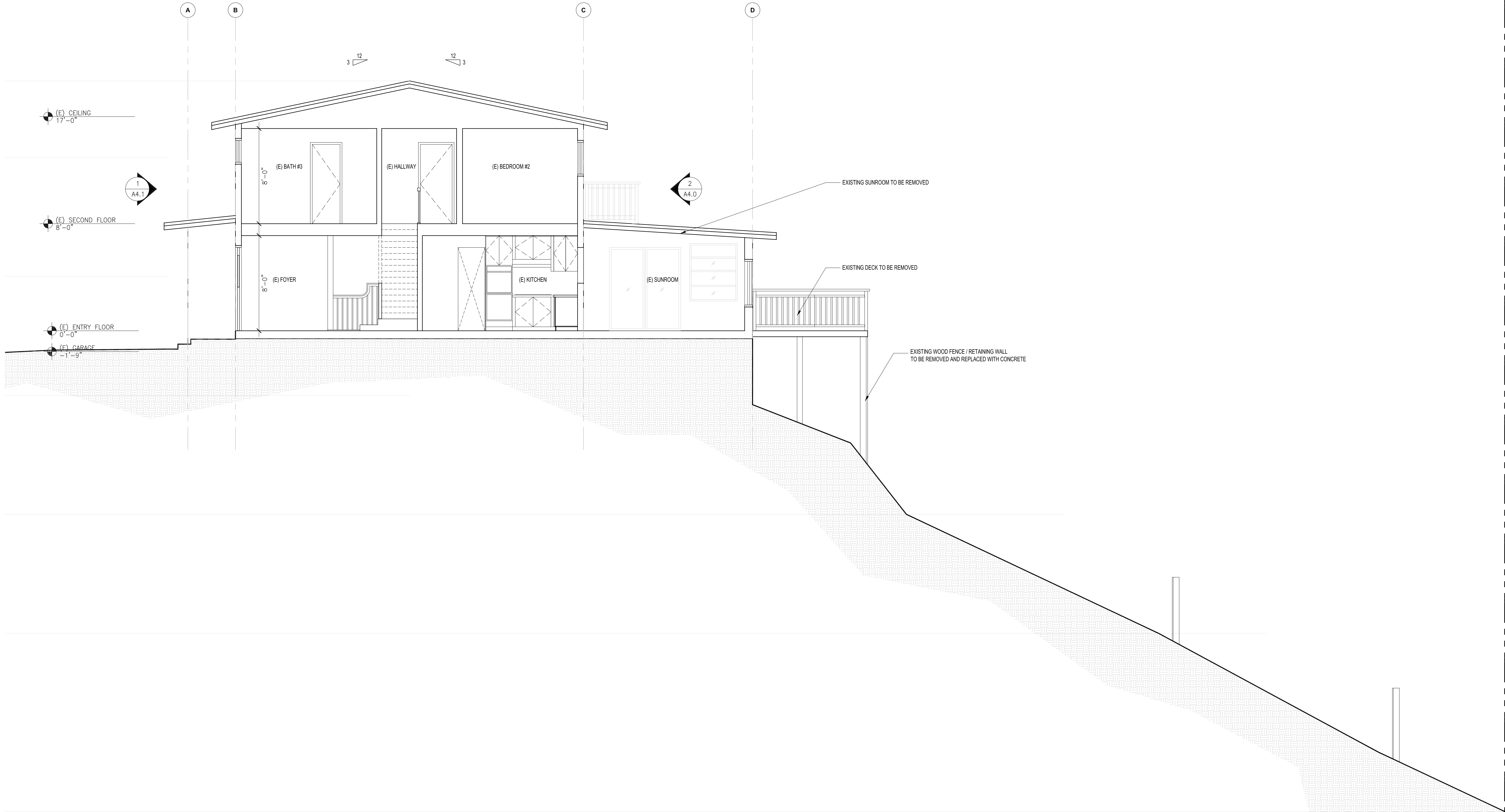
2 PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



1 EXISTING SECTION THROUGH ENTRY
SCALE: 1/4" = 1'-0"

WING LEE ARCHITECTS

Wing Lee AIA, LEED AP BD+C
1403 Hudson Avenue
San Francisco CA 94124
T 415.297.6493
www.leeearchitect.com

903 SPRINGFIELD DR.

APN 021-461-120

ISSUE	RECORD/DATE
OWNER MEETING	APRIL 1, 2018
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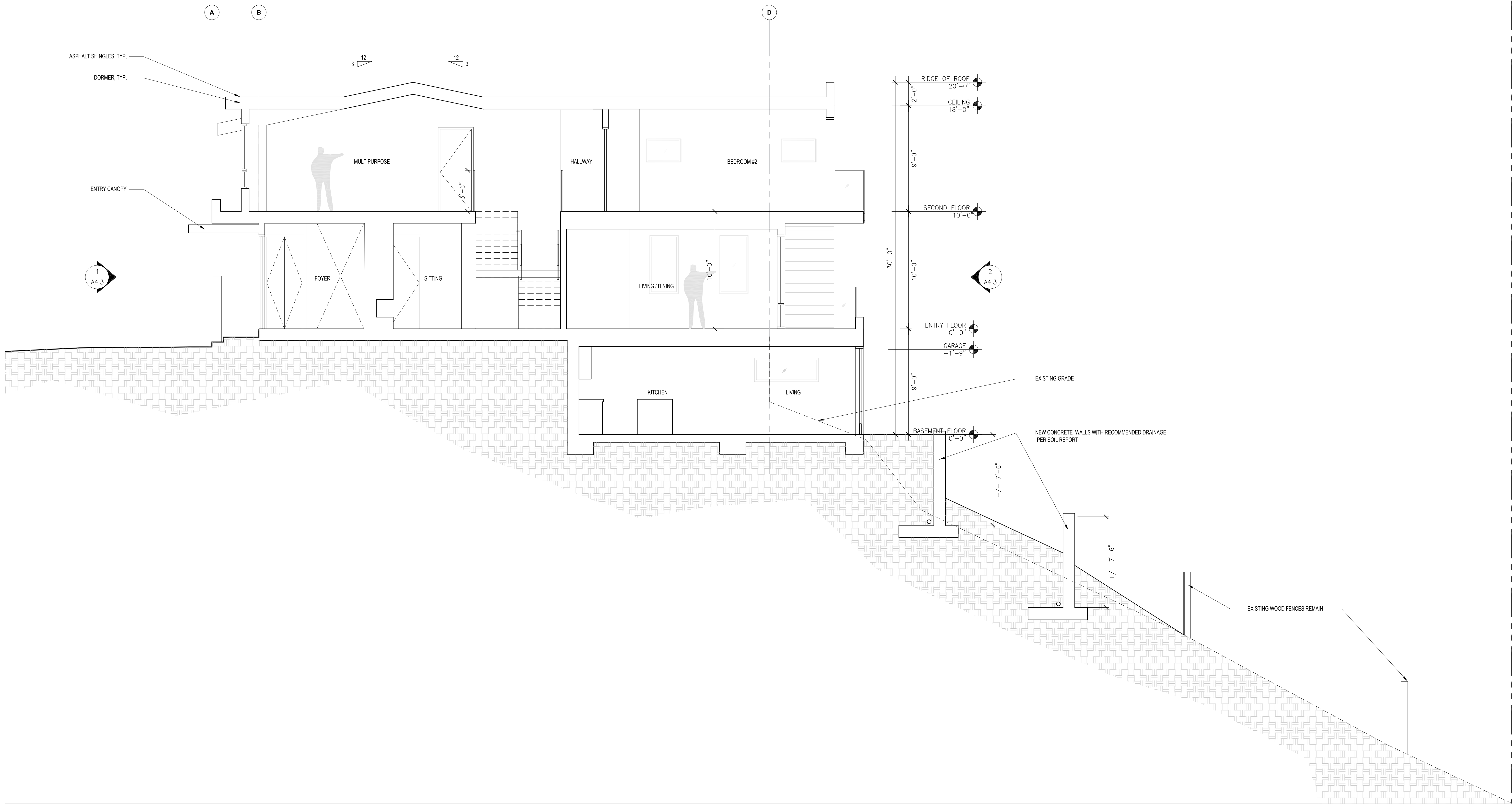
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LICENSED ARCHITECT
WING LEE
C 28922
EX. FEB 28, 2021
STATE OF CALIFORNIA

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EXISTING SECTION

A5.0

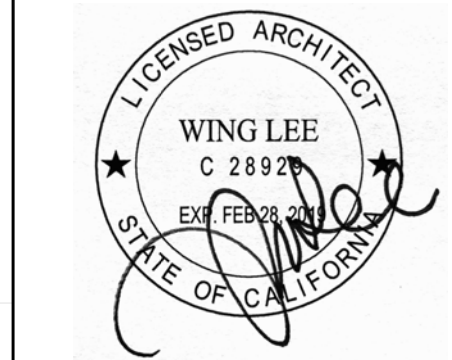
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THIS PROJECT ONLY



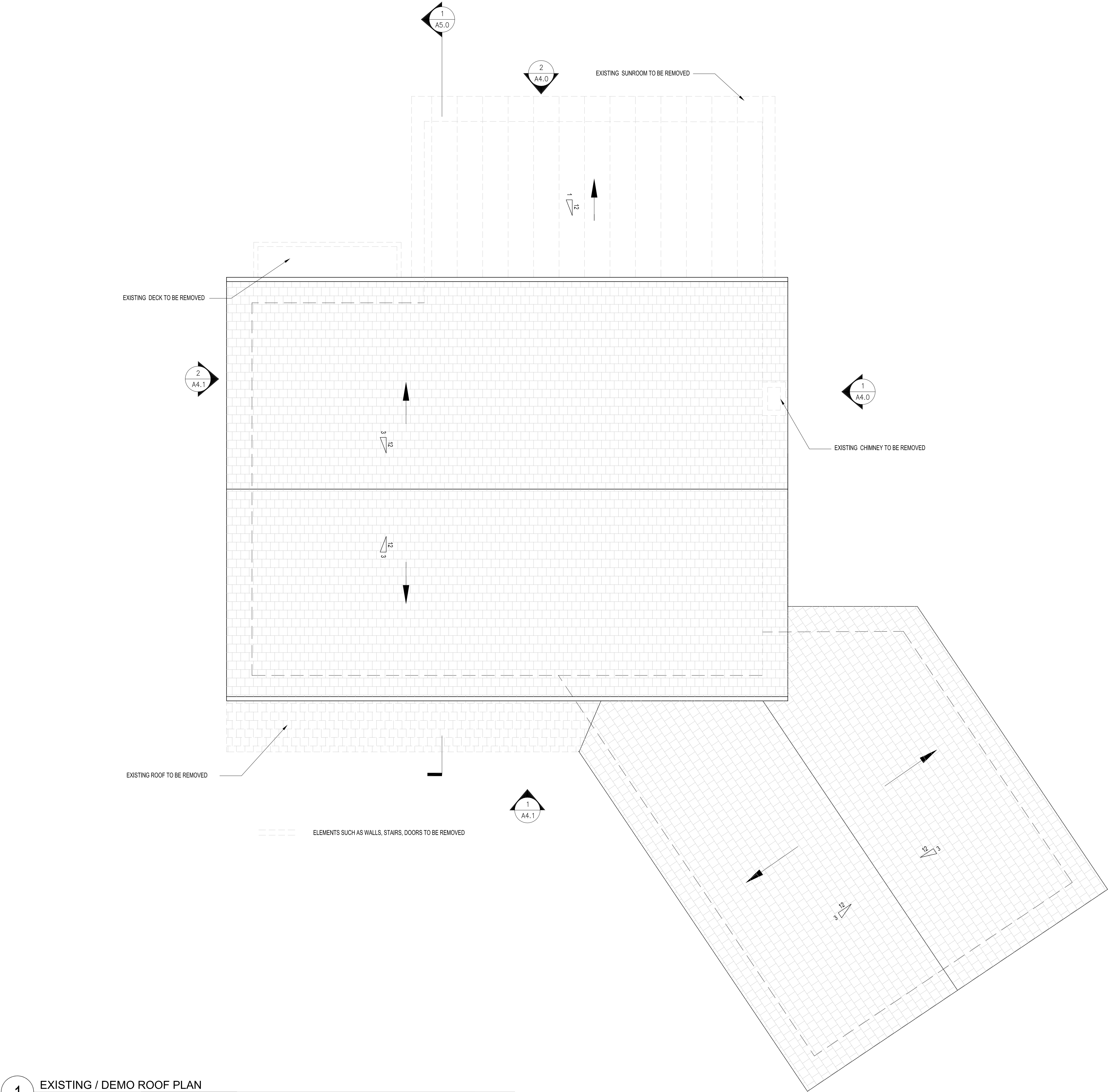
1 PROPOSED SECTION THROUGH ENTRY
SCALE: 1/4" = 1'-0"

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STAMP



DRAWING TITLE
PROPOSED SECTION



1 EXISTING / DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"

903 SPRINGFIELD DR.

APN 021-461-120

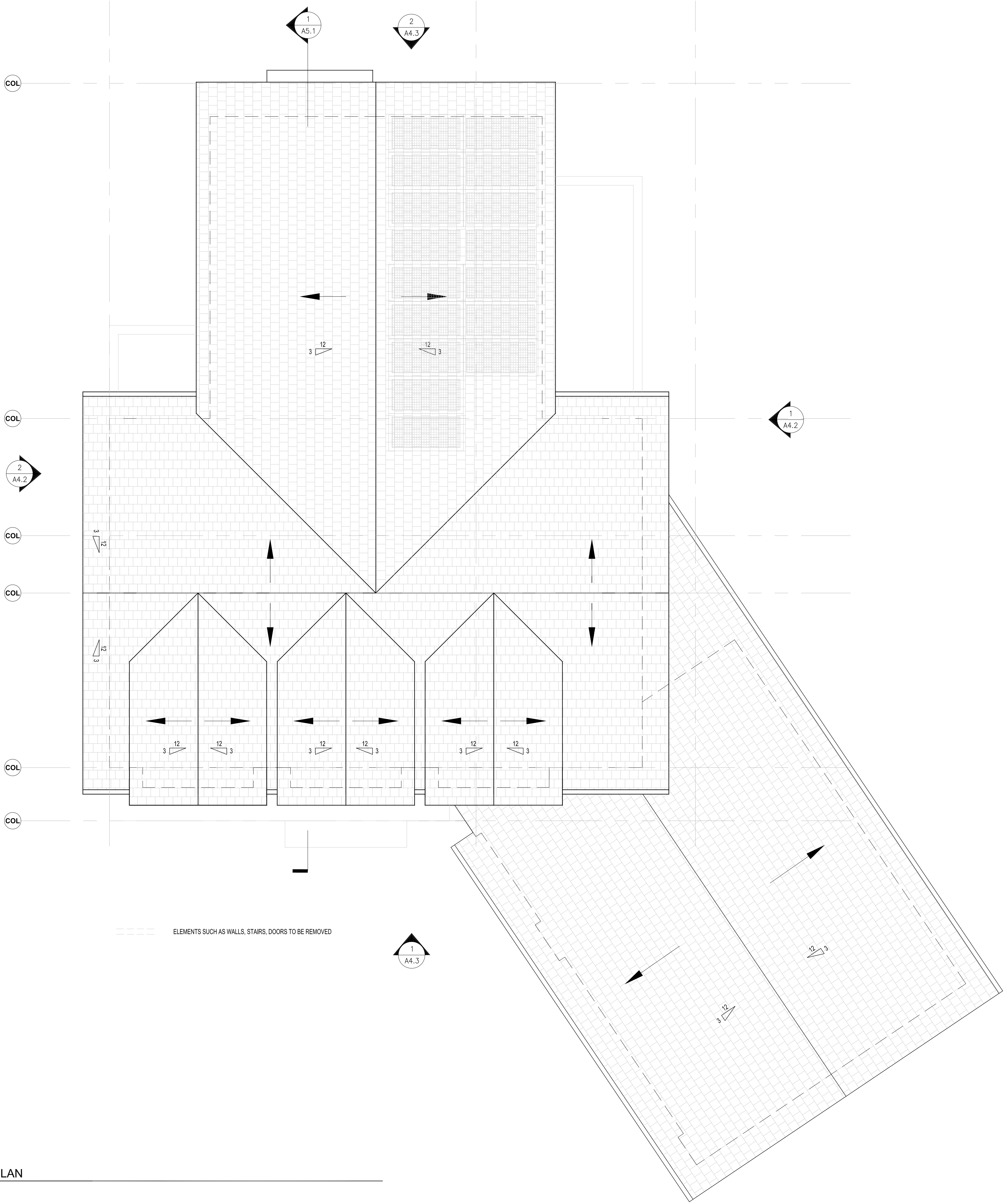
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STAMP



DRAWING TITLE
ROOF PLAN
EXISTING / DEMO

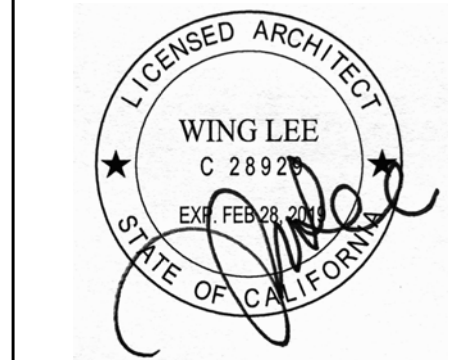
A6.0



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

ISSUE	RECORD/DATE
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STAMP



DRAWING TITLE

ROOF PLAN
PROPOSED



3 VIEW FROM SPRINGFIELD DRIVE TO PROPOSED FRONT ELEVATION
SCALE: NTS

4 VIEW FROM EL CAPITAN DRIVE LOOKING AT REAR SUBJECT PROPERTY
SCALE: NTS



1 AERIAL VIEW FROM NORTHWEST
SCALE: NTS

1 AERIAL VIEW FROM SOUTHEAST
SCALE: NTS

ISSUE	RECORD/DATE
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STAMP



DRAWING TITLE
VIEW STUDY

PRECISE AND GRADING AND DRAINAGE PLAN

FOR

KEVIN LU RESIDENCE

903 SPRINGFIELD DRIVE, MILLBRAE, CA 94030

GENERAL NOTES

- ALL WORK IS TO BE DONE IN AN ACCORDANCE WITH THE STANDARD PLANS AND SPECIFICATIONS OF THE CITY OF MILLBRAE, WHICH ARE HEREBY INCORPORATED INTO THESE PLANS.
- AT LEAST 48 HOURS NOTICE TO THE ENGINEERING DIVISION IS REQUIRED FOR A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF CONSTRUCTION. PHONE (650) 258-2939.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY THE CITY ENGINEER PRIOR TO THEIR CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON RECORD DRAWINGS PRIOR TO THE ACCEPTANCE OF THE WORK AS COMPLETE.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN A PUBLIC RIGHT-OF-WAY/ OR EASEMENT AND MUST BE OBTAINED PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 227-2600 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THE PLANS ARE BASED UPON RECORD INFORMATION, HOWEVER, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR ACTUAL LOCATIONS.
- THE CONTRACTOR SHALL LEAVE A 24-HOUR EMERGENCY TELEPHONE NUMBER WITH THE POLICE, FIRE AND PUBLIC WORKS DEPARTMENTS, AND KEEP THEM INFORMED DAILY OF ANY DETOURS.
- THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES. A COPY OF THE CONSTRUCTION SAFETY ORDERS IS AVAILABLE IN THE ENGINEERING DIVISION FOR INSPECTION.
- PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE AWWA/CMAA MANUAL AND AS DIRECTED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL GIVE AT LEAST 24 HOURS' NOTICE TO THE CITY MAINTENANCE SUPERINTENDENT PRIOR TO CONNECTING TO EXISTING WATER FACILITIES. AT ALL TIMES, THE OPERATION OF EXISTING VALVES SHALL BE DONE UNDER THE DIRECTION OF MAINTENANCE DIVISION PERSONNEL.
- ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF BASE ROCK UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- EXISTING CURB AND GUTTER, SIDEWALK, SURVEY MONUMENTS, AND OTHER PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR DISPLACED SHALL BE REPLACED AT THE CONTRACTORS EXPENSE, EVEN IF DAMAGE OR DISPLACEMENT WAS NOT CAUSED BY ACTUAL WORK PERFORMED BY THE CONTRACTOR.
- THE LOWEST FINISHED FLOOR LEVEL OF A HOUSE IS 12 INCHES OR LESS ABOVE THE TOP ELEVATION OF THE NEAREST UPSTREAM SANITARY SEWER STRUCTURE, THERE SHALL BE A BACKWATER OVERFLOW DEVICE OR CHECK VALVE INSTALLED ON THE SEWER LATERAL NEXT TO THE CLEAN OUT.
- IF PAVING AND STORM DRAIN IMPROVEMENTS ARE NOT COMPLETED BY OCTOBER 15, TEMPORARY SILT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED TO CONTROL AND CONTAIN SILT DEPOSITS AND TO PROVIDE FOR THE SAFE DISCHARGE OF STORM WATERS INTO EXISTING STORM DRAINAGE FACILITIES. DESIGN OF THE SILT AND EROSION CONTROL FACILITIES MUST BE APPROVED PRIOR TO THEIR CONSTRUCTION.
- ALL TRAFFIC SIGNS AND STREET NAME SIGNS SHALL BE HIGH REFLECTIVE GRADE AND CONFORM TO CALTRANS SPECIFICATIONS AND CITY STANDARD PLAN M2.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT RELIEVE THE PERMITTEE OR HIS ENGINEER FROM THE RESPONSIBILITY FOR THE DESIGN OF THE IMPROVEMENTS AND ANY DEFICIENCIES RESULTING FROM THE DESIGN THEREOF.
- ALL CITY STANDARD DRAWINGS REFERENCED ON THE PLANS SHALL BE THE CURRENT VERSION AVAILABLE FROM THE PUBLIC WORKS DEPARTMENT.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED TO ESTABLISH ALL LINES, LEVELS, GRADES AND LOCATIONS OF ALL IMPROVEMENTS AND TO VERIFY THE PROPER INSTALLATION OF ALL IMPROVEMENTS. A STATE OF CALIFORNIA REGISTERED CIVIL ENGINEER SHALL BE RETAINED TO UPDATE CONTRACT PLANS AND TO SUBMIT RECORD DRAWINGS INDICATING ALL FINAL IMPROVEMENTS, WITH APPROVED REVISIONS, INSTALLED.
- CUT SHEETS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL AT LEAST ONE (1) WEEK PRIOR TO THE START OF CONSTRUCTION OF AN IMPROVEMENT REQUIRING THEM.
- THE CONTRACTOR SHALL PERFORM THE NECESSARY TESTS IN ACCORDANCE WITH CITY STANDARDS ON NEWLY INSTALLED STORM DRAINS, SEWER, AND WATER SYSTEMS ONLY AFTER TRENCHES ARE BACKFILLED AND STREET BASE IS IN PLACE, COMPACTED AND READY FOR ASPHALT PAVING.
- THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL MANHOLES, VALVE AND MONUMENT COVERS WITHIN THE WORK AREA UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PLACE A $\text{AS}\phi$ (FOR SEWER) AND A $\text{AW}\phi$ (FOR WATER) IN THE WET CONCRETE CURB TOP AT ALL NEW LATERAL LOCATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

DOCUMENTATION

1. AN AS-BUILT GRADING PLAN SHALL BE PREPARED BY THE CIVIL ENGINEER INCLUDING ORIGINAL GROUND SURFACE ELEVATIONS, AS GRADED GROUND SURFACE ELEVATIONS, LOT DRAINAGE PATTERNS AND LOCATIONS, AND ELEVATIONS OF ALL SURFACE AND SUBSURFACE DRAINAGE FACILITIES. HE/SHE SHALL PROVIDE WRITTEN APPROVAL THAT THE WORK WAS DONE IN ACCORDANCE WITH THE FINAL APPROVED GRADING PLAN AND STATE THE NUMBER OF YARDS OF CUT AND/OR FILL MOVED DURING THE OPERATION.
2. A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER, INCLUDING LOCATIONS AND ELEVATION OF FIELD DENSITY TESTS, SUMMARIES OF FIELD AND LABORATORY RESULTS AND OTHER SUBSTANTIATED DATA AND COMMENTS ON ANY CHANGES MADE DURING GRADING AND THE EFFECT OF THE RECOMMENDATIONS MADE IN THE SOILS ENGINEERING INVESTIGATION REPORT. HE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AND COMPLETION OF WORK IN ACCORDANCE WITH THE JOB SPECIFICATIONS.
3. A GEOLOGIC GRADING REPORT PREPARED BY THE ENGINEERING GEOLOGIST, INCLUDING A FINAL DESCRIPTION OF THE GEOLOGY OF THE SITE, INCLUDING ANY NEW INFORMATION DISCLOSED DURING THE GRADING AND THE EFFECT OF SAME ON RECOMMENDATIONS INCORPORATED IN THE APPROVED GRADING PLAN. HE/SHE SHALL PROVIDE WRITTEN APPROVAL AS TO THE ADEQUACY OF THE SITE FOR THE INTENDED USE AS AFFECTED BY GEOLOGIC FACTORS.

NOTICE TO CONTRACTOR

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT, IF THE STAKING HAD BEEN DONE BY THE SURVEY CREW UNDER HIS DIRECT SUPERVISION.
3. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES.

NOTE TO SURVEYOR

SURVEYOR TO FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

SURVEYOR OR ENGINEER SHALL PERMANENTLY MONUMENT PROPERTY CORNERS OR OFFSET BEFORE STARTING GRADING.

ADDITIONAL NOTE

1. LICENSED SURVEYOR TO PROVIDE MONITORING OF SHORING AND IMPROVEMENTS ON THE ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS STOPPED.
2. IN LIEU OF SPECIAL INSPECTION BY DEPUTY BUILDING INSPECTOR, GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING SHORING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.
3. CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNER BY CERTIFIED MAIL 10 DAYS PRIOR TO STARTING THE SHORING OR EXCAVATION WORK.

SHEET INDEX

TITLE SHEET	C-1
PRECISE GRADING AND DRAINAGE PLAN	C-2
SECTIONS AND DETAILS PLAN	C-3
EROSION CONTROL PLAN	C-4

LOT SIZE:	15,423	SQ.
DISTURBED AREA:	7,580	SQ.
EXISTING IMPERVIOUS AREA:	4,491	SQ.
REPLACED AND NEW IMPERVIOUS AREA:	1,463	SQ.

NOTE:
QUANTITIES SHOWN HERE ON ARE FOR PERMIT AND/OR BONDING PURPOSE ONLY.

ARCHITECT

WING LEE
1403 HUDSON AVENUE
SAN FRANCISCO, CA 94124
PHONE: 415-297-6493

SOIL ENGINEER

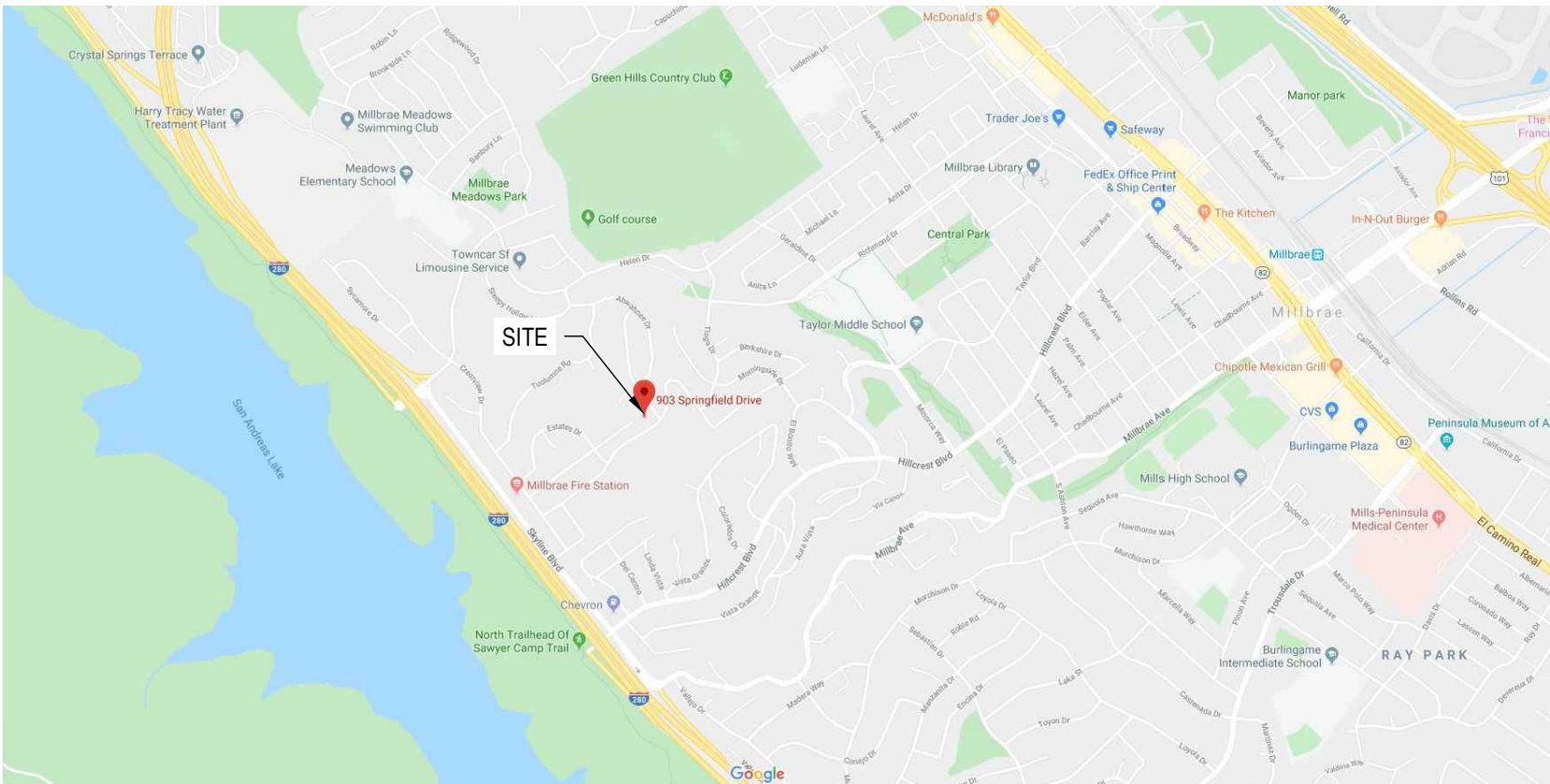
IGOR GARY KLEYNER
1485 BAYSHORE BOULEVARD, SUITE 133
SAN FRANCISCO, CA 94124

CIVIL ENGINEER

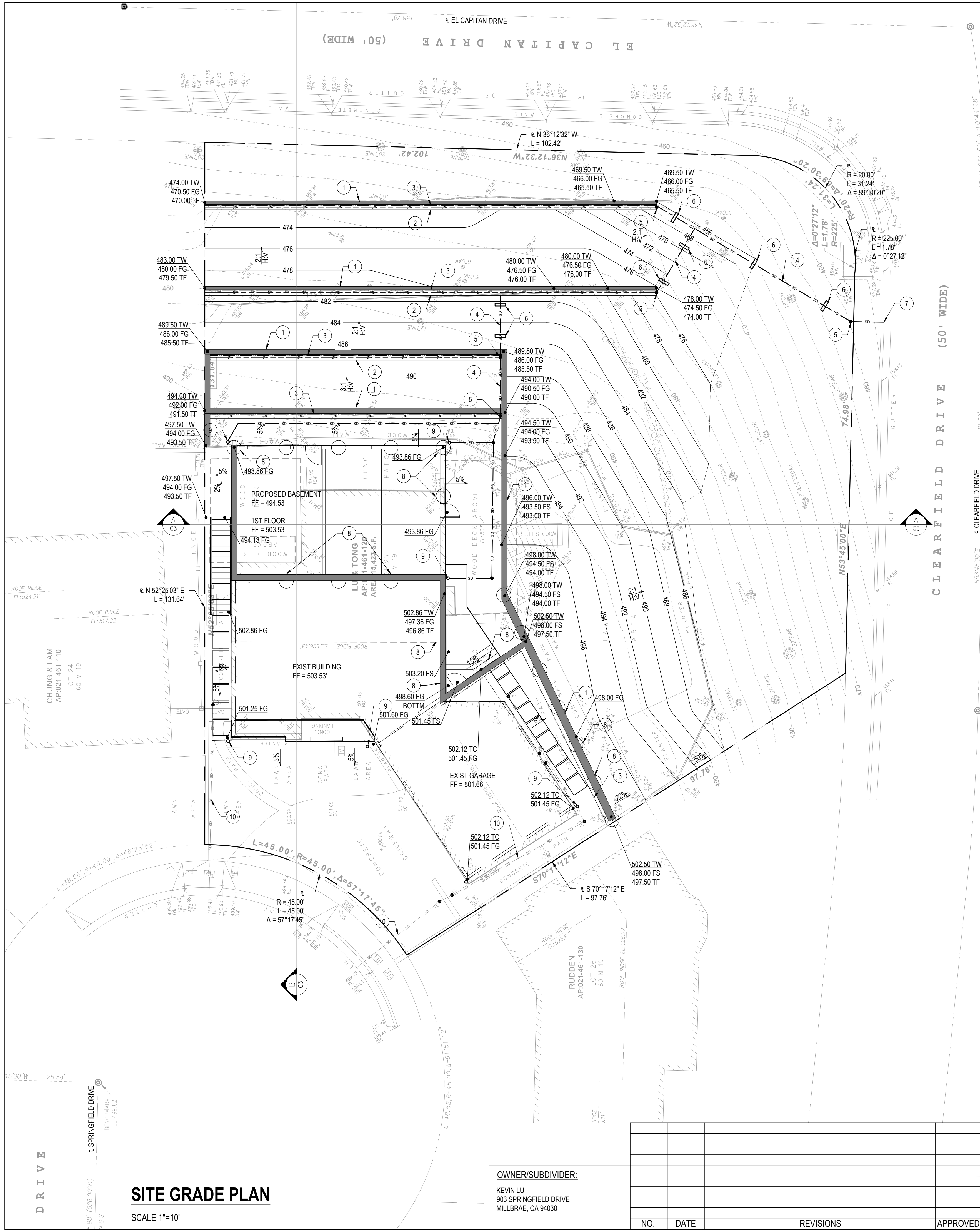
CORE CIVIL INC.
23172 PLAZA POINTE DRIVE, SUITE #145
LAGUNA HILLS, CA 92653
PHONE: 949-954-7244

BASIS OF BEARING

THE BASIS OF BEARING IS N 53°45'00" E BETWEEN FOUND STANDARD WELL MONUMENT
PER R1, FIELD IN THE OFFICE OF THE SAN MATEO COUNTY RECORDER.



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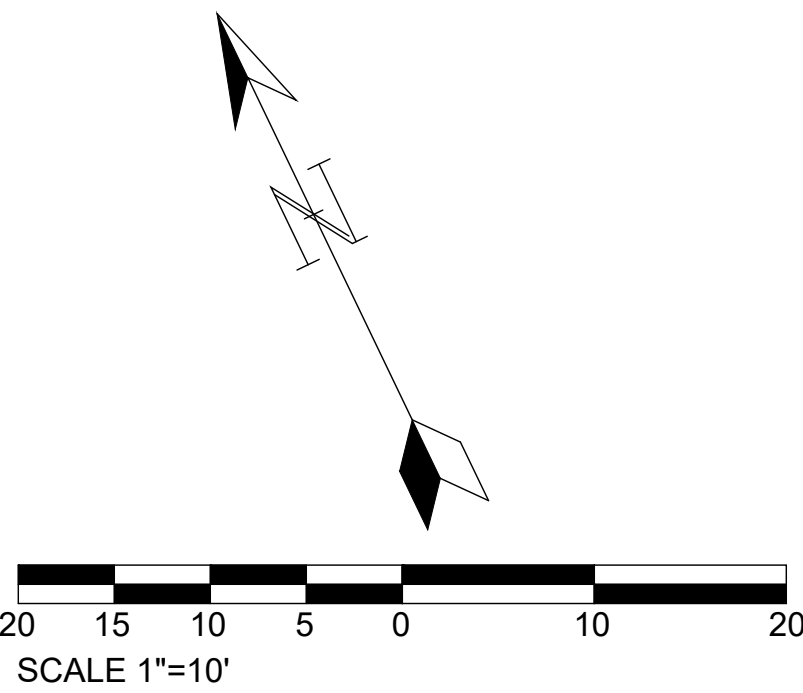


CONSTRUCTION NOTE

- 1 PROPOSED RETAINING WALL PER STRUCTURAL PLAN.
- 2 CONSTRUCT RETAINING WALL BACK DRAIN PER DETAIL.
- 3 INSTALL RETRAINING WALL SUB-DRAIN SYSTEM.
- 4 INSTALL 6" DIA. SCHEDULE 40 PIPE DRAIN SYSTEM.
- 5 INSTALL 6" DIA. DRAIN INLET BY NDS.
- 6 INSTALL PIPE SLOPE ANCHOR PER DETAIL.
- 7 INSTALL PRIVATE DRAIN THROUGH PER DETAIL.
- 8 CAISSONS PER STRUCTURAL PLAN.
- 9 INSTALL DOWNSPOUT PER ARCHITECTURAL PLAN.
- 10 EXIST STORM DRAIN SYSTEM. PROTECT IN PLACE.

LEGEND

- 100 EXISTING CONTOUR
- 100 PROPOSED CONTOUR
- 100FS SPOT ELEVATION
- PROPOSED HARDSCAPE
- SD PROPOSED STORM DRAIN
- EXIST WALL
- PROPOSED PLANTER WALL
- PROPOSED RETAINING WALL
- FLOW LINE
- PROPERTY LINE
- X.X% SURFACE SLOPE
- S=X.X STORM DRAIN SLOPE
- DF DEEPEENED FOOTING
- PAD PROPOSED PAD ELEVATION
- FS PROPOSED FINISHED SURFACE
- FG PROPOSED FINISHED GROUND
- FF PROPOSED FINISHED FLOOR
- INV INVERT OF PIPE
- TG TOP OF GRATE
- PL PROPERTY LINE
- TW TOP OF WALL
- TF TOP OF FOOTING
- HP HIGH POINT
- LP LOW POINT



SITE GRADE PLAN

SCALE 1"=10'

OWNER/SUBDIVIDER:
KEVIN LU
903 SPRINGFIELD DRIVE
MILLBRAE, CA 94030

				DESIGNER	
				DESIGNED BY:	
				DRAFTED BY:	
NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY:	W.C.



PLANS PREPARED BY:



Core Civil Engineering, Inc.
23172 Plaza Pointe Dr. Suite #145
Laguna Hills, CA 92653
Phone: 949-954-7244
info@corestructure.com
www.corestructure.com

WAI LIN MAUNG CHEN
R.C.E. C38347 EXP. 3/31/2021

02-26-2020
DATE

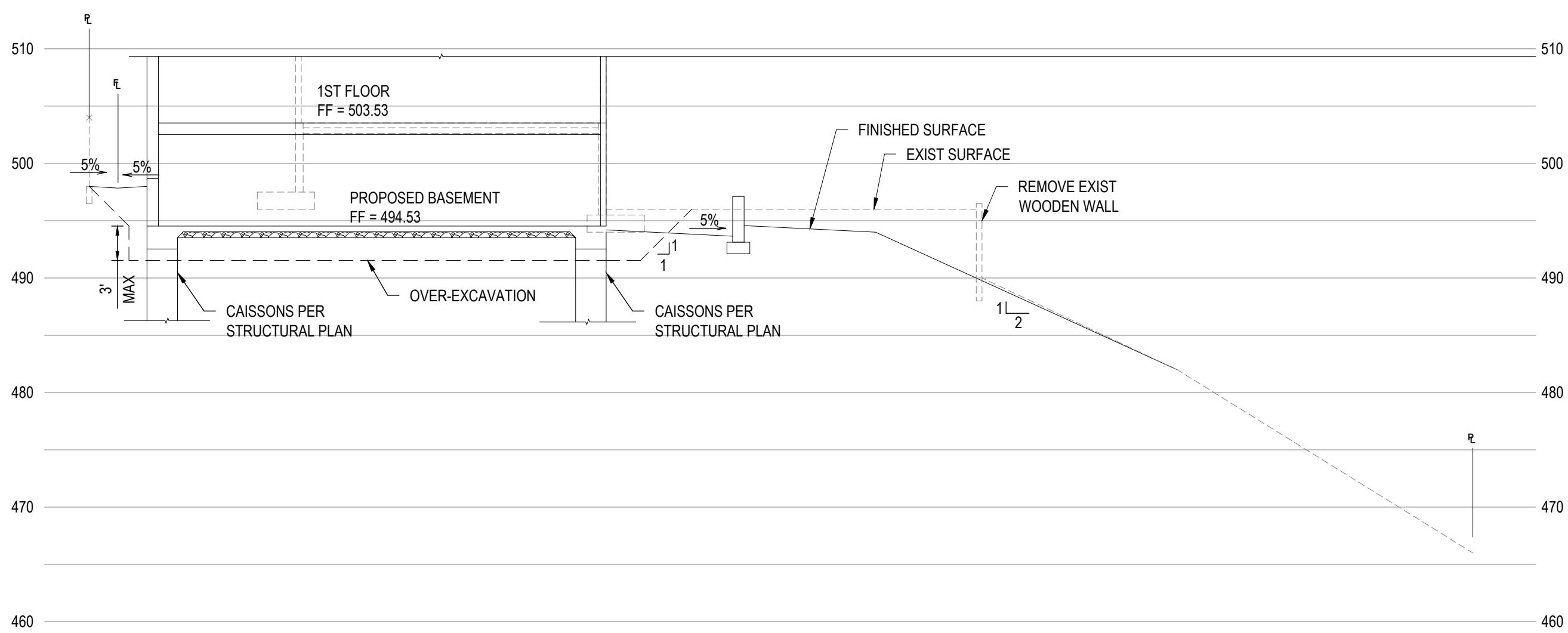
LU RESIDENCE
SITE GRADE PLAN
PROJECT ADDRESS
903 SPRINGFIELD DR.
MILLBRAE, CA 94030

PROJECT NO.:

90265

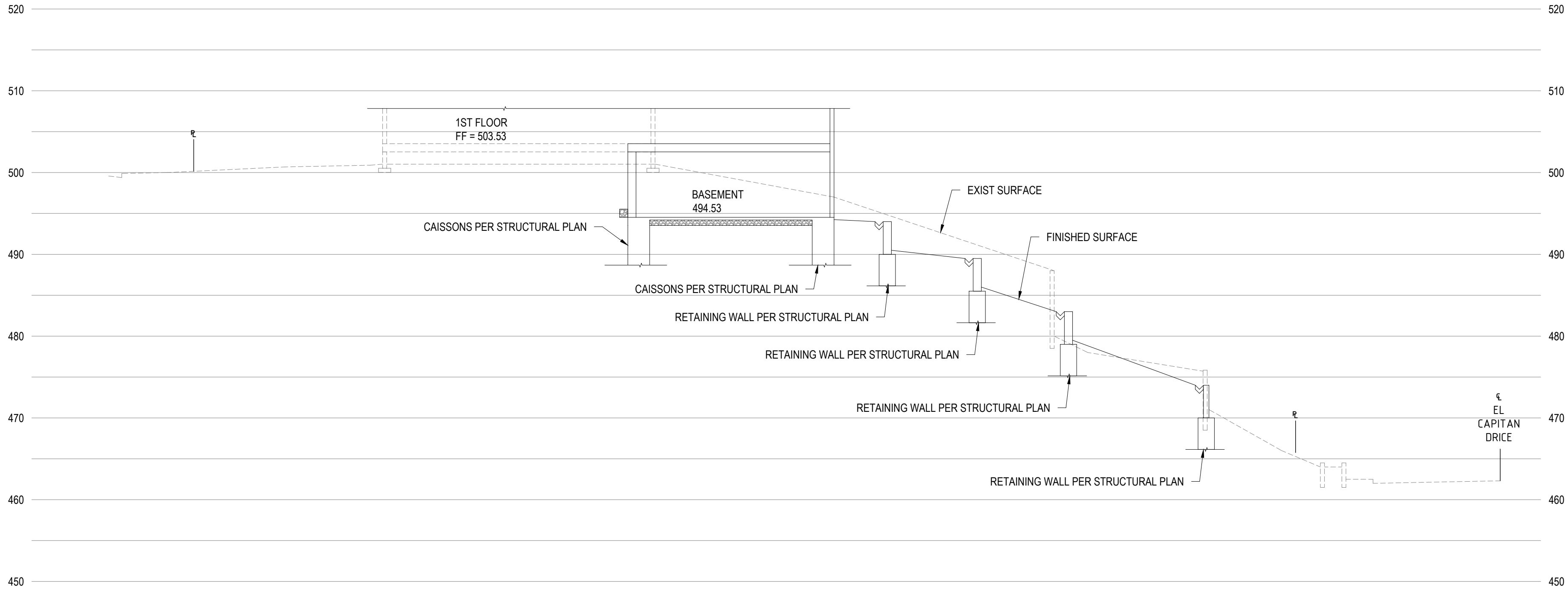
SHEET NO.:

C-2



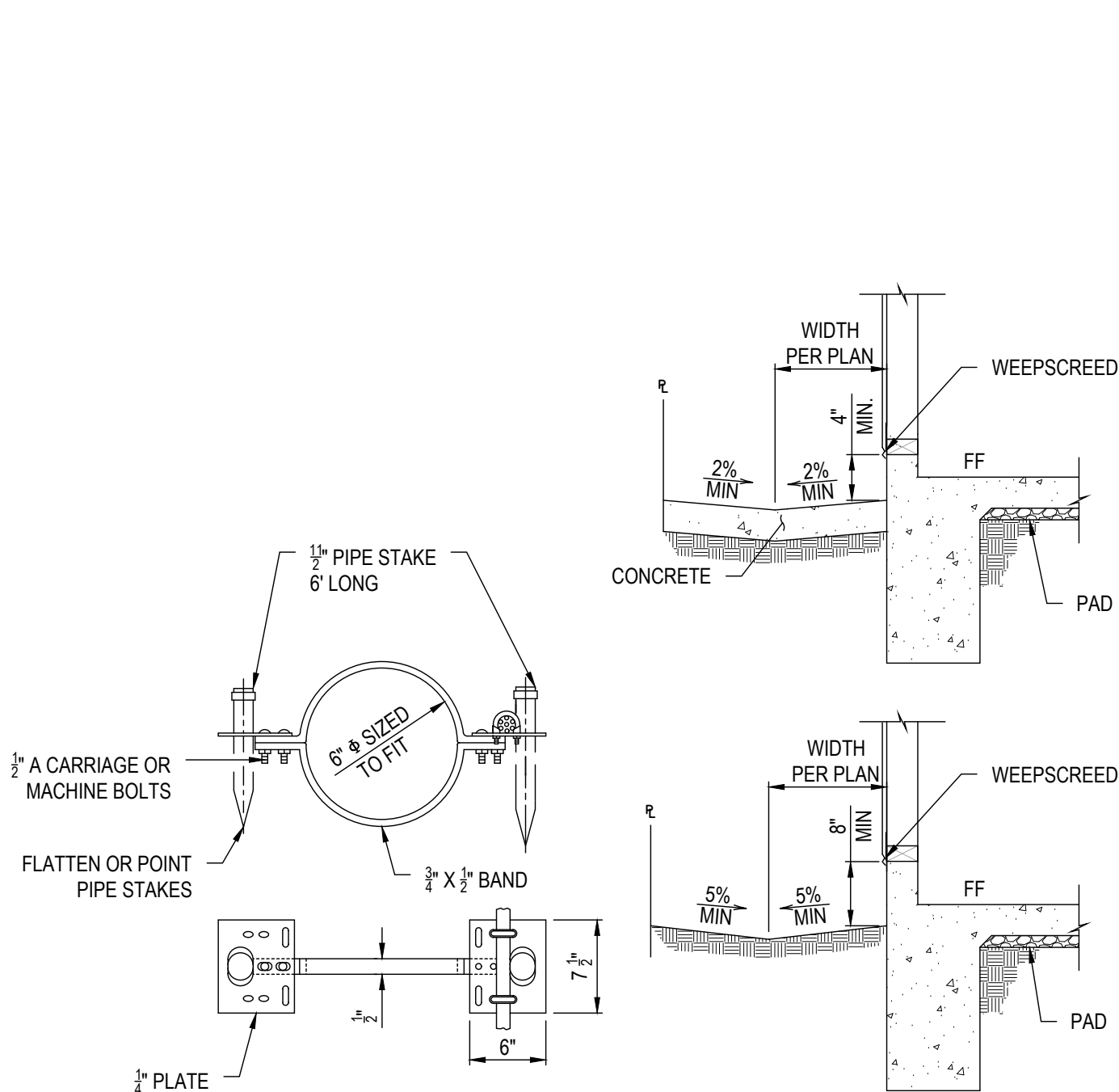
SECTION A-A

SCALE 1"=10'



SECTION B-B

SCALE 1"=10'



6 DETAIL PIPE ANCHOR

NOT TO SCALE

DETAIL BUILDING DRAINAGE

NOT TO SCALE

OWNER/SUBDIVIDER:
KEVIN LU
903 SPRINGFIELD DRIVE
MILLBRAE, CA 94030

				DESIGNER	
				DESIGNED BY:	
				DRAFTED BY:	
NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY:	W.C.



PLANS PREPARED BY:

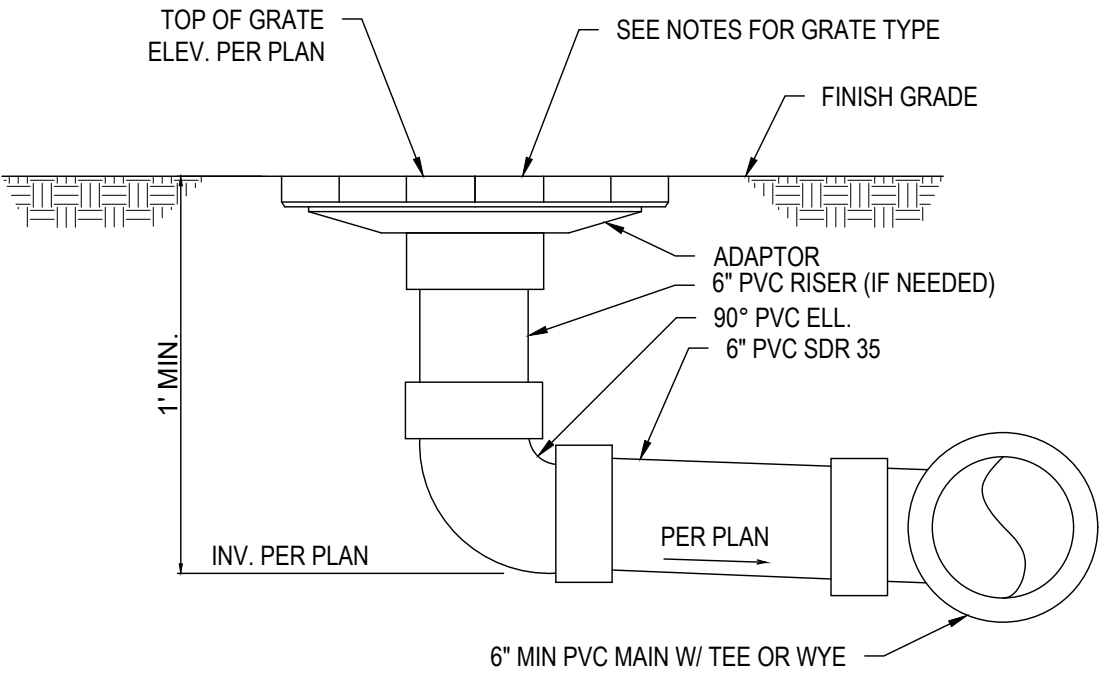


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WAI LIN MAUNG CHEN
R.C.E. C83487 EXP. 3/31/2021

5 DETAIL INLET DRAIN

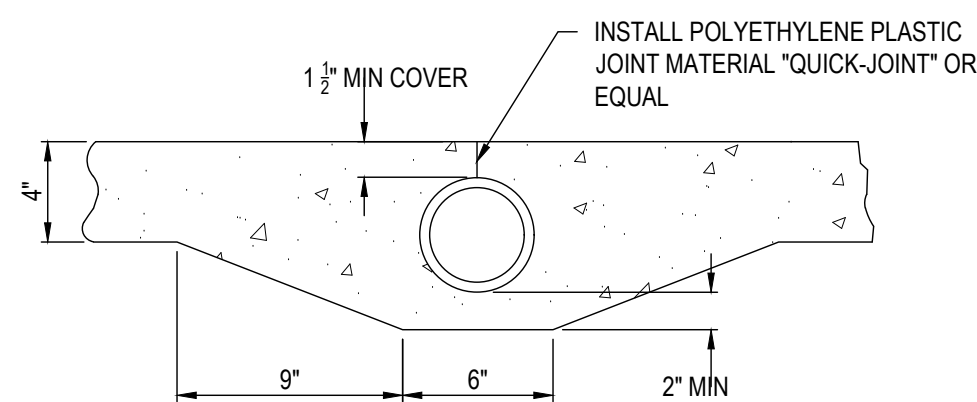
NOT TO SCALE



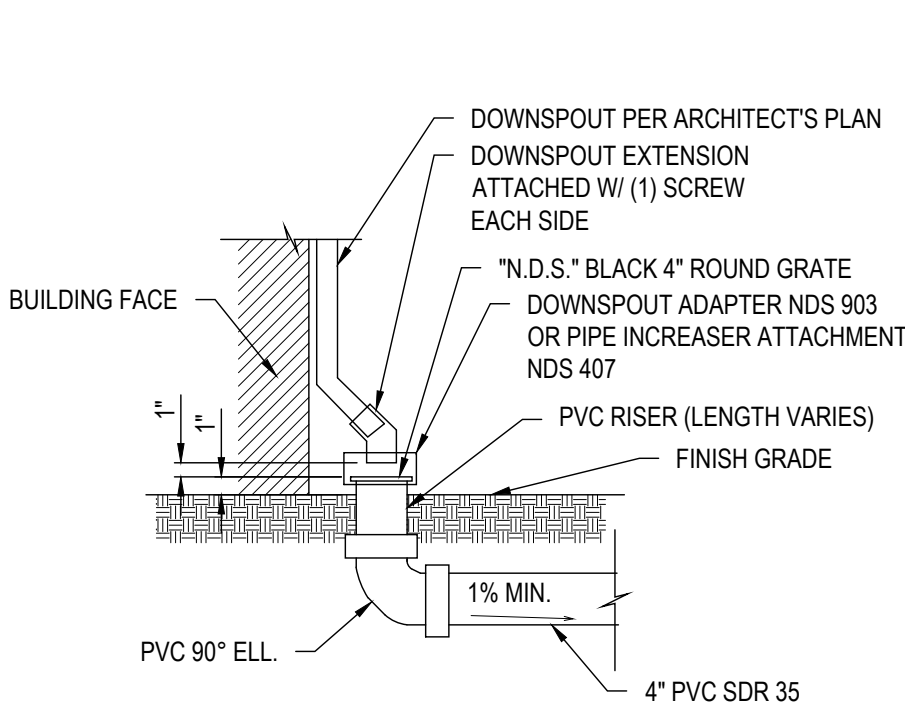
- NOTE:
- ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994
 - REFER TO GRADING PLAN FOR FINISH GRADING.
 - DO NOT GLUE GRATE OR RISER TO PIPE.
 - GLUE "I.P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED FAST SET) FOR PIPE THRU 6".
 - ALL PIPES TO BE 6" Ø PVC SDR 35.

7 DETAIL PRIVATE DRAINS THROUGH CURB

NOT TO SCALE

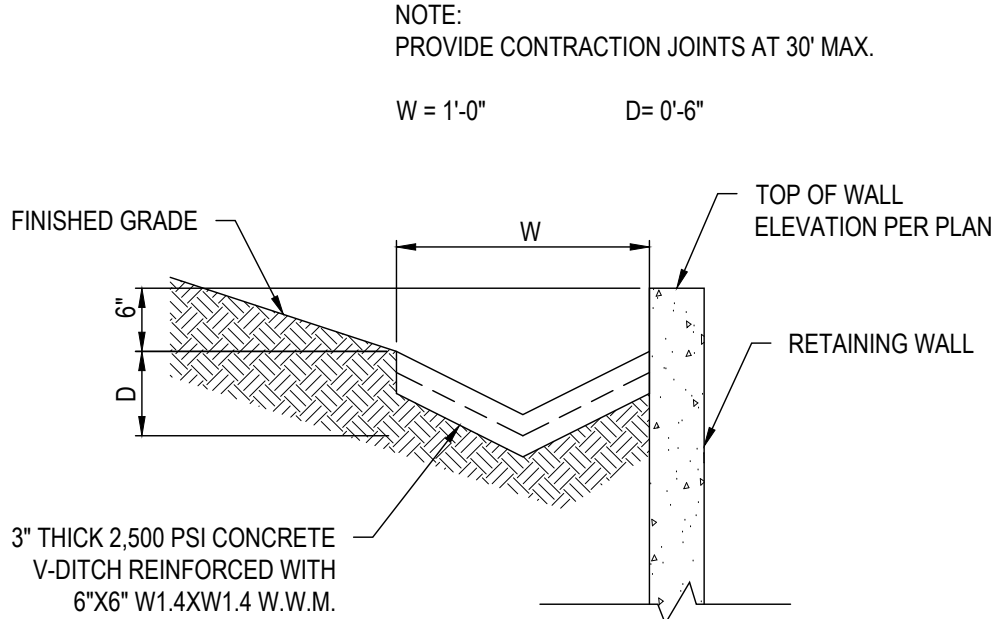


SECTION A-A



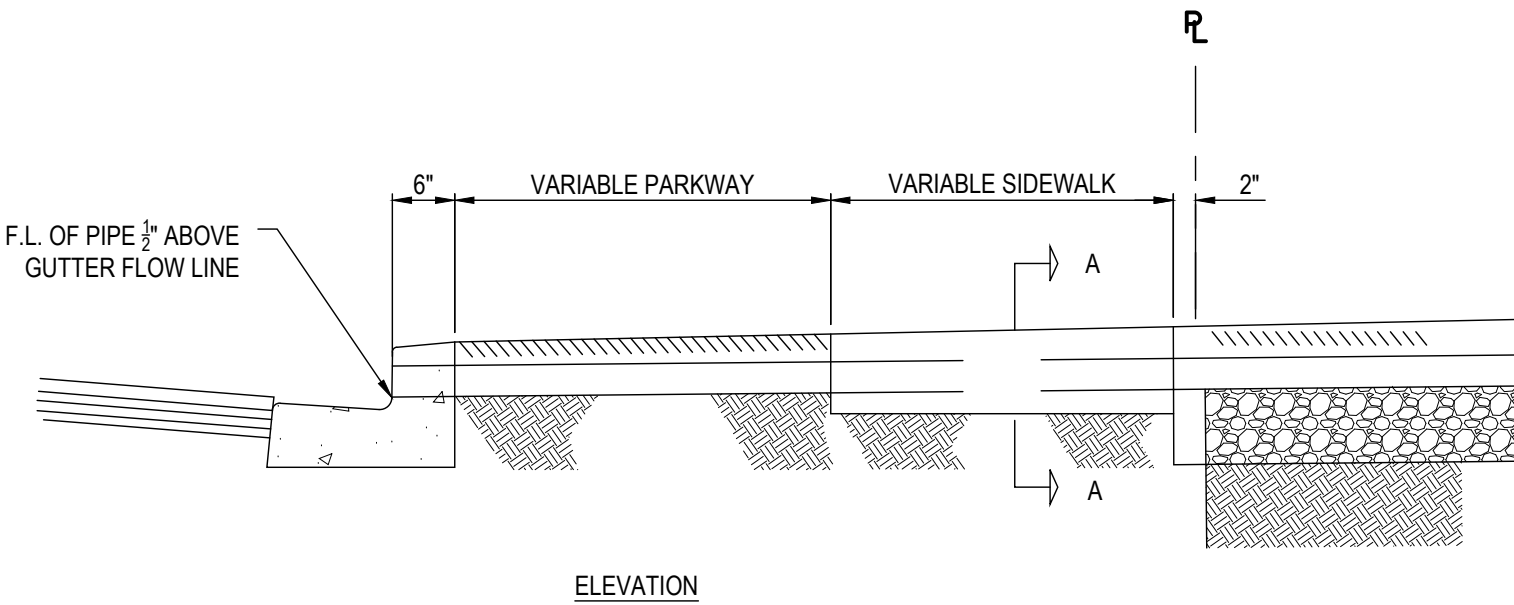
9 DETAIL DOWNSPOUT

NOT TO SCALE



2 DETAIL RETAINING WALL CONCRETE V-DITCH

NOT TO SCALE



ELEVATION

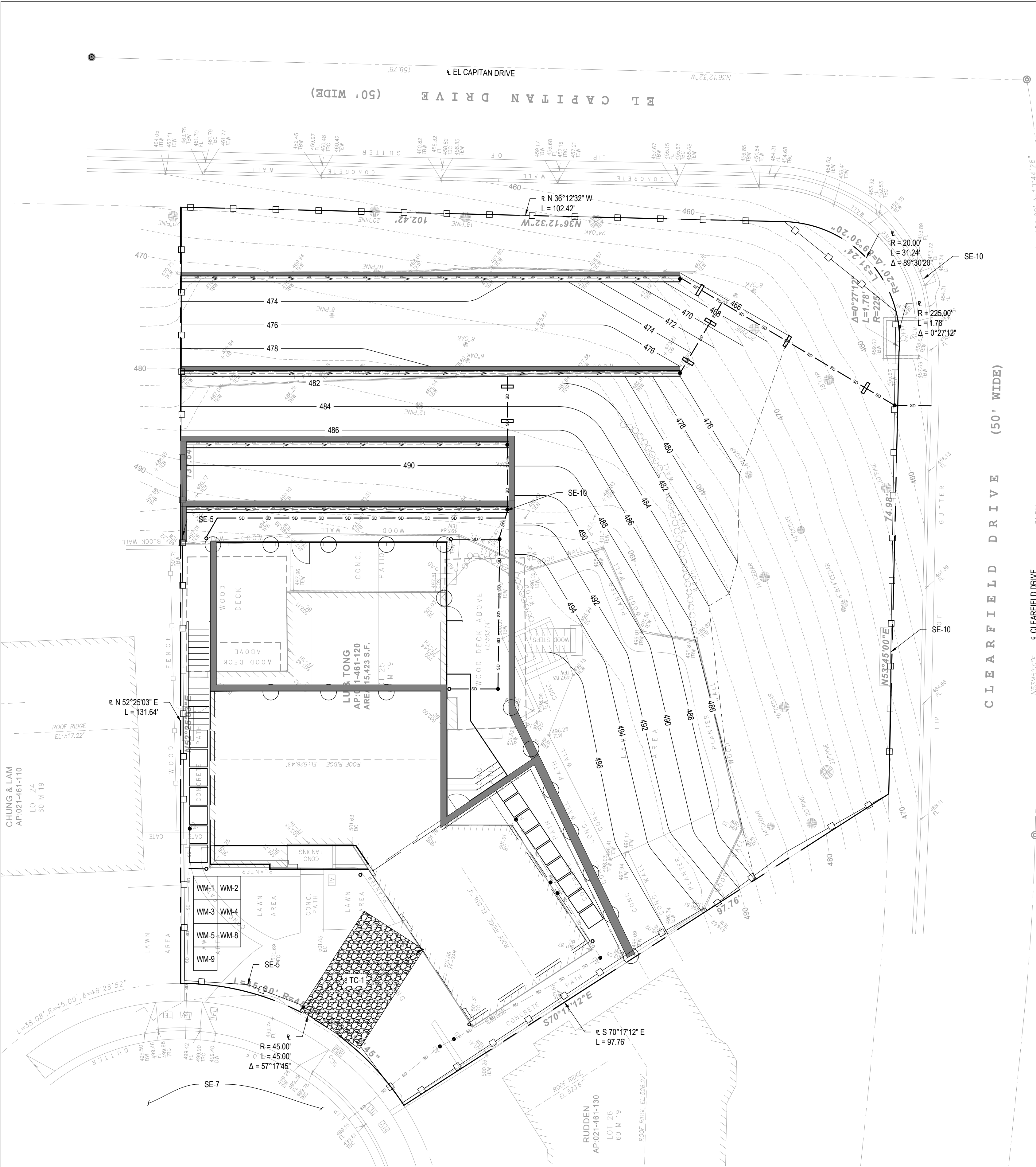
LU RESIDENCE
SITE GRADE PLAN
PROJECT ADDRESS
903 SPRINGFIELD DR.
MILLBRAE, CA 94030

PROJECT NO.:

90265

SHEET NO.:

C-2



EROSION CONTROL PLAN
SCALE 1"=10'

OWNER/SUBDIVIDER:
KEVIN LU
903 SPRINGFIELD DRIVE
MILLBRAE, CA 94030

				DESIGNER	
				DESIGNED BY:	
				DRAFTED BY:	
NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY:	W.C.



PLANS PREPARED BY:



Core Civil Engineering, Inc.
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Laguna Hills, CA 92653
Phone: 949-954-7244
info@corestructure.com
www.corestructure.com

WAI LIN MAUNG CHEN
R.C.E. C83487 EXP. 3/31/2021

02-26-2020
DATE

LU RESIDENCE
EROSION CONTROL PLAN
PROJECT ADDRESS
903 SPRINGFIELD DR.
MILLBRAE, CA 94030

PROJECT NO.:

90265

SHEET NO.:

C-4

EROSION CONTROL BMPS

EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
------	------------	---

TEMPORARY SEDIMENT CONTROL

SE-5	FIBER ROLLS	INSTALL WHERE SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10	STORM WATER INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.

WIND EROSION CONTROL BMPS

WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.
------	----------------------	--

TRACKING CONTROL

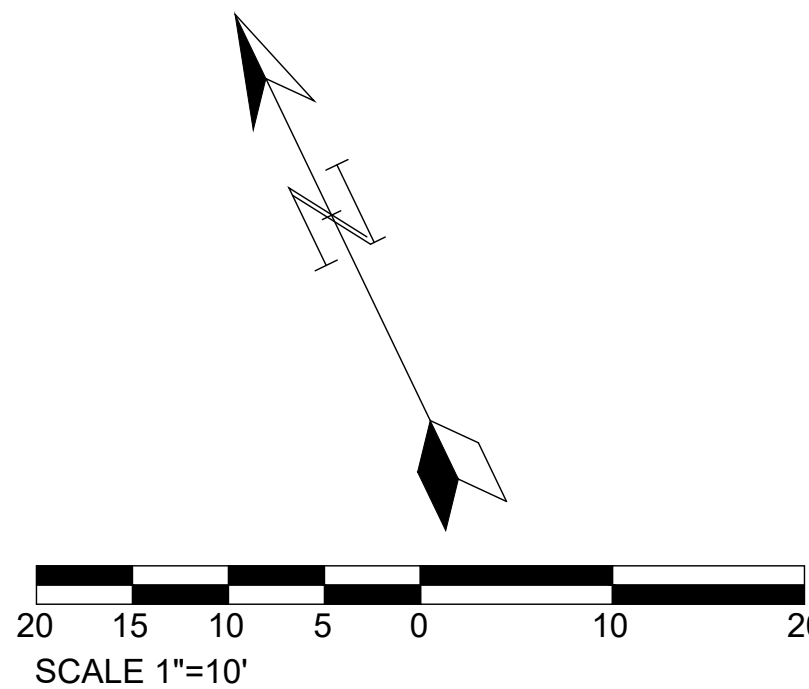
TC-1	STABILIZED CONSTRUCTION EXIT	RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.
------	------------------------------	---

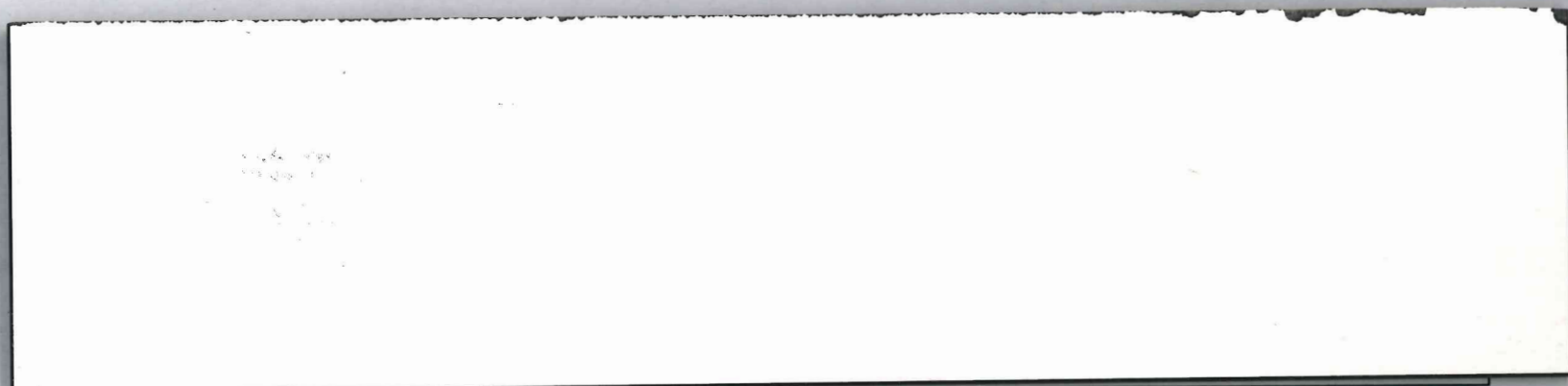
NON-STORMWATER MANAGEMENT

NS-1	WATER CONSERVATION PRACTICES	MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRADING OPERATIONS	APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6	ILLCIT CONNECTION / ILLEGAL DISCHARGE	CONTRACTOR SHALL REPORT ILLICIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE/
NS-7	POTABLE WATER / IRRIGATION	EXCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9	VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

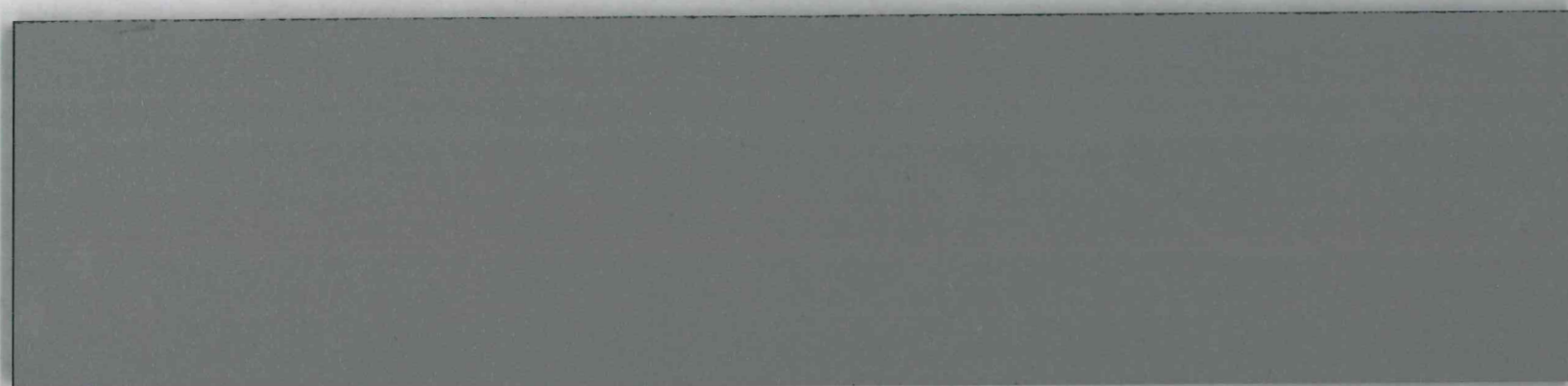
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL

WM-1	MATERIAL DELIVERY AND STORAGE	MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2	MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3	STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9	SANITARY / SEPTIC WASTE MANAGEMENT	ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.





TRESPA METEON EXTERIOR PANEL - WHITE SATIN (A03.0.0)



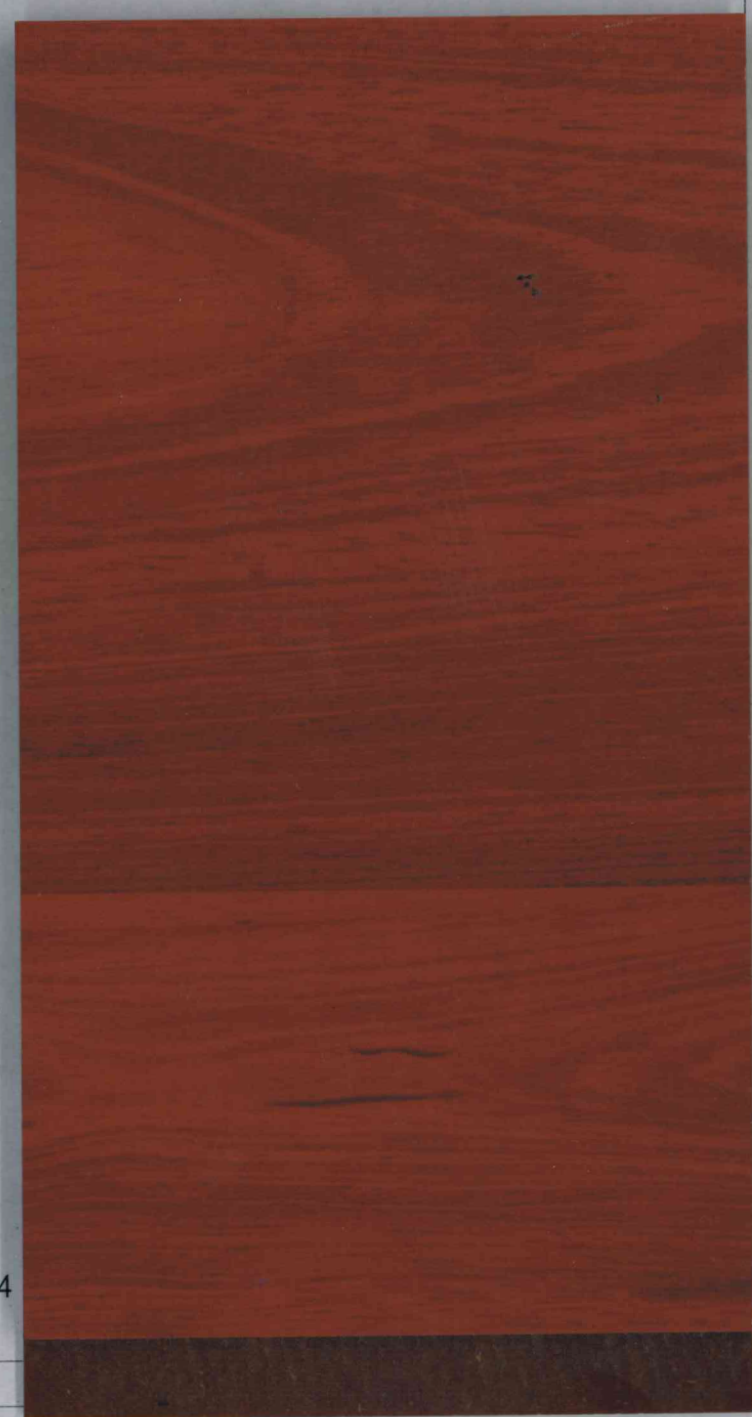
TRESPA METEON EXTERIOR PANEL - MID GREY SATIN (A21.5.1)



TRESPA METEON EXTERIOR PANEL - BLACK SATIN A90.0.0



WINDOW SYSTEM - COLOR: FLAT BRONZE



TRESPA PURA SIDING - COLOR: ROYAL MAHAGANY PU04

ARCHITECT

WING LEE ARCHITECTS

Wing Lee AIA, LEED AP BD+C
1403 Hudson Avenue
San Francisco CA 94124
T 415.297.6493
www.leearchitect.com
wing@leearchitect.com

PROJECT

903 SPRINGFIELD DRIVE
RENOVATION &
ADDITION
MILLBRAE, CA 94030
APN 021-461-120

DRAWING TITLE

COLOR & MATERIAL
SAMPLES

906 Springfield Drive Views



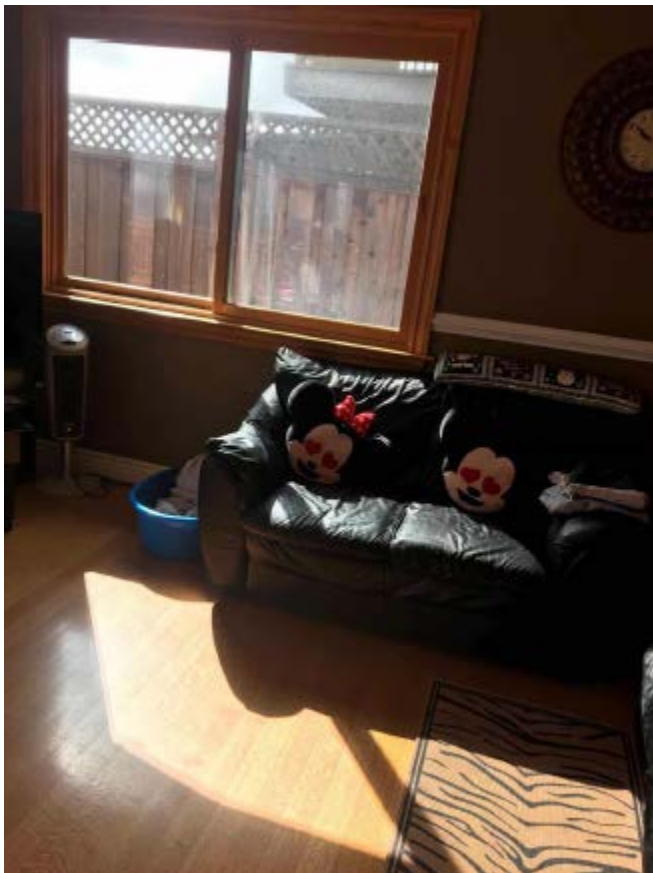
View facing south from Kitchen, adjacent to project.



View facing south from the 2nd floor master bedroom.



View south from 2nd floor porch.



View south toward backyard of 603 Springfield from adjacent living room.

903 Springfield Drive:
Story pole staff site visit photos
June 18, 2020

Facing North towards 906 Springfield from first floor
of 903 Springfield Drive



000001

Facing East from 903 Springfield first floor with horizontal addition to the South.



000002

Facing Southeast from 903 Springfield first floor



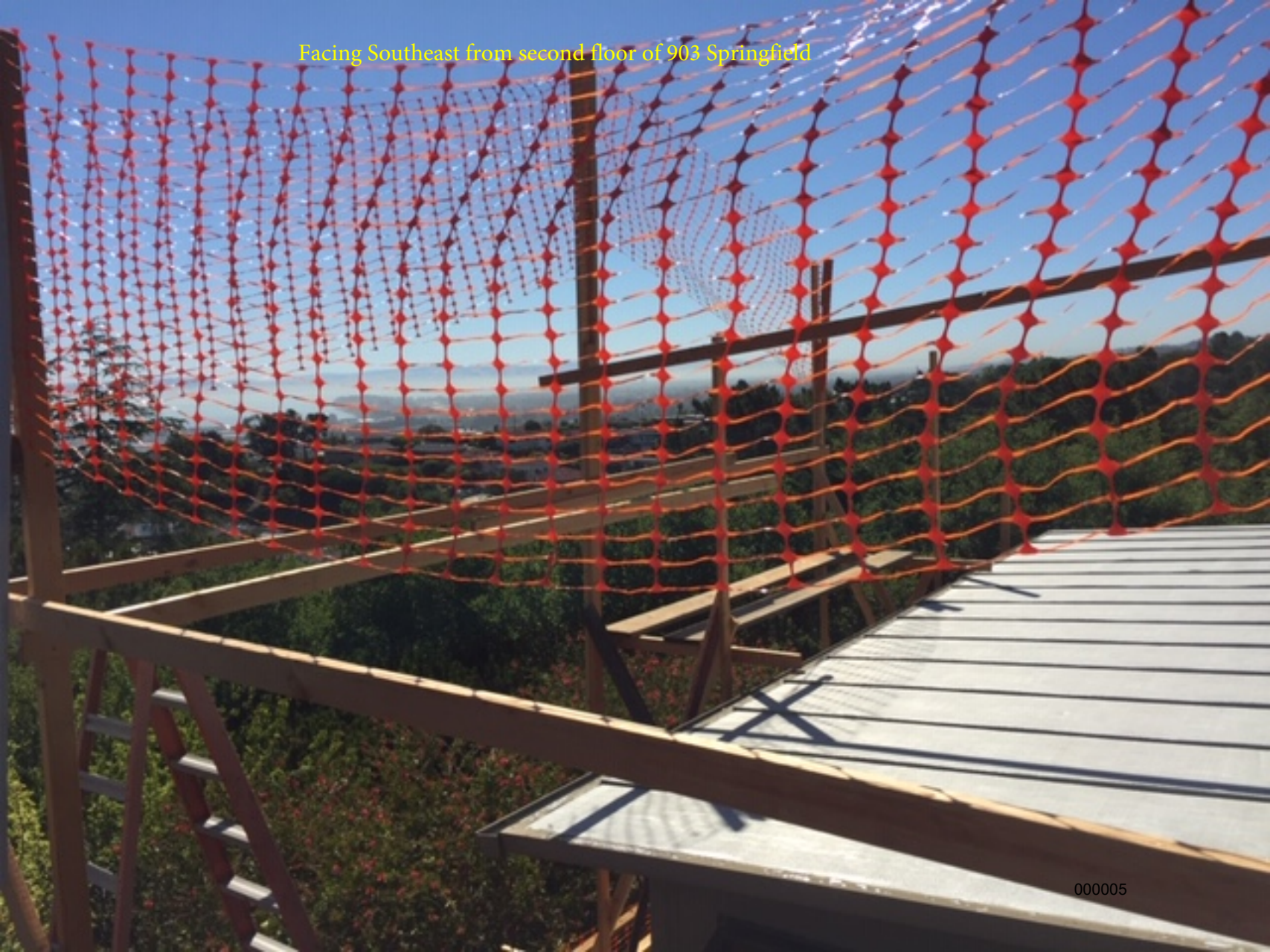
000003

Facing Northeast from second floor of 903 Springfield



000004

Facing Southeast from second floor of 903 Springfield



000005

Facing East from second floor of 903 Springfield



000006

View from second floor to first floor showing
second floor setback line and adjacent
property fence and deck at 906 Springfield



000007

View from second floor to first floor showing second floor setback line and adjacent property at 906 Springfield.



000008

Facing East from second floor of 903 Springfield



000009

Facing North to adjacent property at 906 Springfield from second floor view.



000010

Facing Northeast toward 906 Springfield deck from second floor of
903 Springfield



000011

View towards adjacent property owner at 906 Springfield from second floor
of 903 Springfield



000012

View towards adjacent property owner at 906
Springfield from second floor of 903 Springfield



000013

View facing north showing the first and second floor horizontal addition with story poles



000014